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HOUSE INSPECTION REPORT

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Honeycomb Construction Ltd

Inspection Report

Prepared exclusively for



INS00012

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Report Generated by



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Terms and Conditions

Use of Report (Report)

The Report is confidential and has been prepared solely for the Client named in the Report. Honeycomb Construction Limited, T/A Honeycomb Building Inspections(**Honeycomb**) accepts no responsibility for anything done by any person or third party in reliance, whether wholly or in part, on the contents of the Report.

By using the Report in any manner, you hereby acknowledge and agree to the terms and conditions in this Report including the Extent and Limitations of Inspection section.

Introductory Comments

Builders Inspection for [REDACTED] Thank you for the opportunity to inspect the Property which was undertaken in clear conditions on 28 Apr 2025 12:00 PM.

The following people were present at the inspection: Aaron (inspector) and Tammy the agent.

Inspector name: William Lin

Experience: Licensed building practitioner with 15 years building experience and carpentry level 4.

Asbestos Class A & B Removal 29765/29766.

Infrared Thermography Practitioner, certificate number: ITP 24-05-2010

Please find following my completed report which I encourage you to read in its entirety. This should be considered in conjunction with the Extent and Limitations of Inspection section.

Honeycomb Construction Ltd recommend that quotes and advice are sought from independent qualified persons in respect of anything stated in the Report, including in respect of any faults/defects identified, if more intrusive investigation is desired or to carry out any work recommended in the Report.

If you require any clarification or wish to discuss any details of the report with me please do not hesitate to contact me on 0275200117. If you require a more detailed discussion this can be arranged with a half an hour, face to face meeting for \$100 plus GST in which we can sit down together and I can go through the report in detail with you.

Disclaimer

Extent and Limitations of Inspection

The Report is a report on the general condition of the Property, intended to identify any significant defects in the Property that are readily apparent at the time of inspection. The Report is not an exhaustive report and may not identify all defects present at the Property.

The Report is based on a visual, non-invasive, inspection of the interior areas of the Property that were readily available and safely accessible at the time of inspection, and without recourse to construction drawings. Honeycomb may comment on the exterior of the Property but this is on the basis of a very limited inspection and generally from ground level only. Without limitation, even where Honeycomb comments on the exterior of the Property, it does not routinely access the roof of the Property or take any steps to inspect any exterior parts of the Property which are not easily accessible.

Any area or component of the Property not specifically identified in the Report as having been inspected is not covered by the Report. The Report will generally not cover the air conditioning system, electrical system or intercom system; hot water cylinders; chattels or appliances including dishwashers, stoves, ovens hobs, aerials; the operation of fireplaces and chimneys; swimming pools, saunas or spas.

The Report does not cover any concealed areas or components including wiring, plumbing, heating, insulation, ventilation, drainage and underground services. Honeycomb will not open up or dismantle any part of the Property or move anything which impedes access or limits visibility (including soil, plants, floor coverings, furnishings or the property owner's items including appliances and vehicles) to carry out the inspection.

Honeycomb does not report on the adequacy of footings or stability of the Property.

Without limiting the previous paragraphs, the Report is not a specialist report in the following areas:

Weathertightness (see below).

Structural;

Engineering;

Geotechnical;

Environmental;

Electrical;

Gas; or

Plumbing.

Specialist testing would be required to be conclusive as to whether the Property is weathertight and that the Report does not determine whether the Property is leaky.

Whilst moisture readings may be taken this in itself cannot be used to confirm or eliminate the possibility of moisture ingress or deterioration in the framing timber or underlying materials. Moisture readings may be of limited use with some plaster systems and depending on other factors. The detection of defects may also be limited, affected or impaired:

By adverse weather conditions; or

In respect of any defect which occurs intermittently or only after regular use or operation of any particular part of the Property.

Honeycomb does not report on, and will not be liable, in respect of any of the following matters:

Asbestos – anything relating to, directly or indirectly arising out of, resulting from, in consequence of, contributed to or aggravated by asbestos in whatever form or quantity.

Pollution – anything relating to, attributable to seepage, pollution or contamination howsoever occurring.

Fungi Moulds – anything relating to, directly or indirectly caused by or contributed to, or arising directly or indirectly or out of:

The action or effects of mould, fungi, mildew, rot, decay, gradual deterioration, micro-organisms, bacteria, spores, protozoa or mycotoxins of any kind, in any building or structure; or

The failure of any building or structure to meet or perform to the requirements of the New Zealand Building Code contained in the first schedule to the Building Regulations 1992 (or any amendment or substitution thereof) in relation to:

external water or moisture; or

either durability or protection from external water or moisture entering that building or structure, or the effects thereof; or

Cladding System – anything relating to, directly or indirectly caused by, attributable to or arising out of the combustibility of any cladding system or cladding materials.

The Report is based on the condition of the Property at the time of inspection. Honeycomb does not provide any warranty in relation to the future condition of the Property.

No representation or statement given by Honeycomb shall have any effect unless it is contained in the Report or otherwise provided in writing by Honeycomb.

Honeycomb does not provide any legal services or investigations, in particular (but without limitation):

Honeycomb will not undertake any title search of the Property;

Honeycomb will not inspect the land information memorandum or file search at the relevant council;

Honeycomb will not make any inquiries of any third party in relation to the Property; and

Honeycomb makes no representations that the Property complies with any legislation including the Building Act 2004, any regulation or any by-law.

Where the Property is a unit title property the inspection is limited to the principal unit and accessory unit and does not extend to any common areas or the structure of the entire complex.

Honeycomb is not liable in respect of:

Misinformation supplied by the vendor, agent, or client; or

Concealment, intentional or otherwise, of any defect.

1. Site

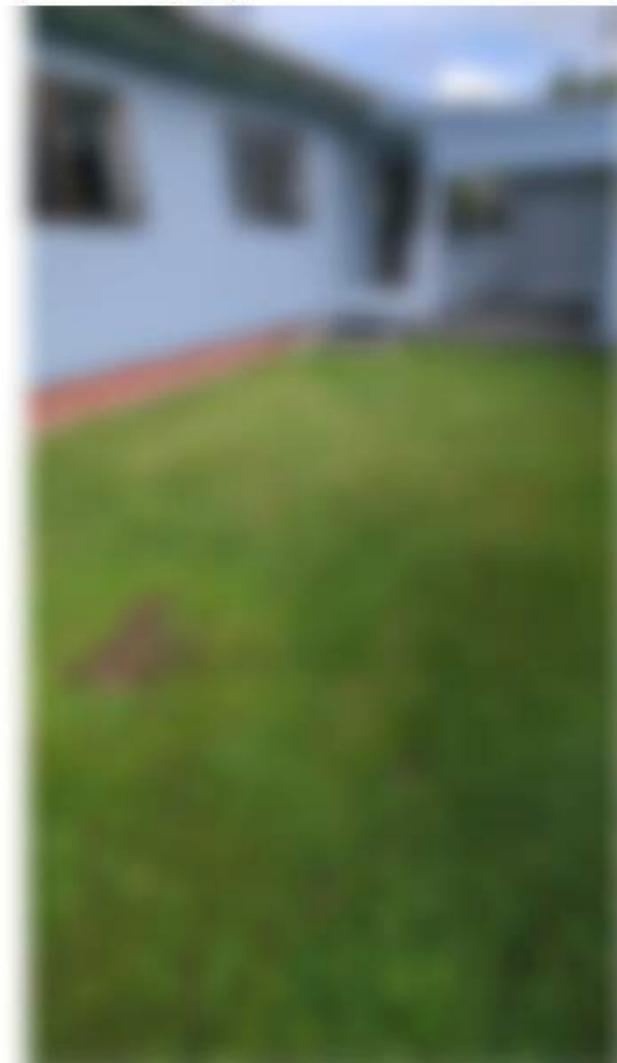
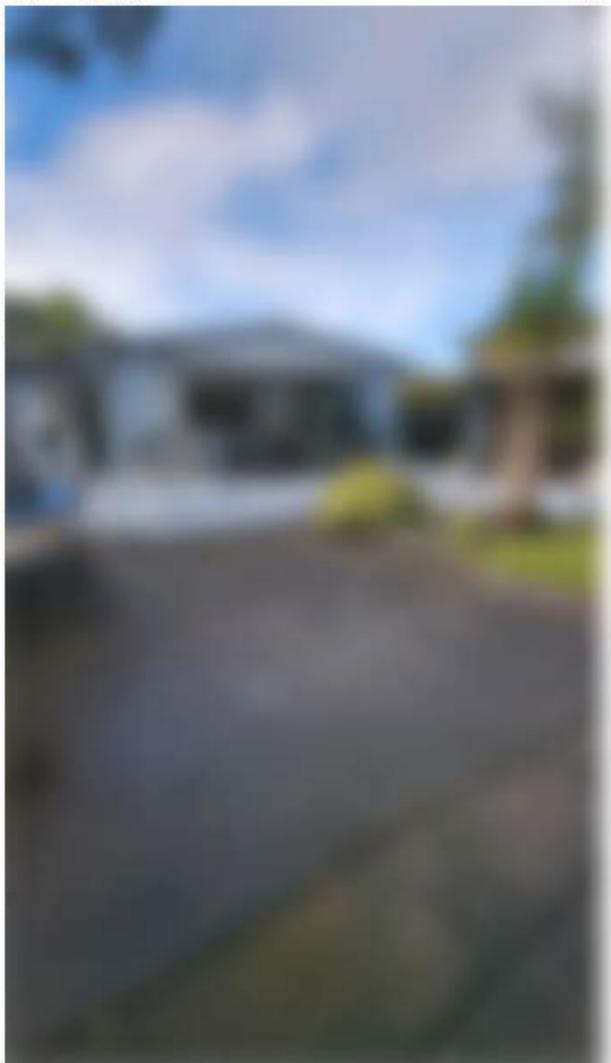
Notes

Generally flat section with light vegetation. Advised to keep vegetation away from the house. Vegetation around the house can potentially damage the property due to moisture/roots.

Site sloping into the house in areas. Unable to confirm if the waterproofing has been installed or drain coil etc. Advised to check consented plans, drainage plans. Underground tanking does have a lifespan between 15-30 years, replacement costs can be significant. Obtain quotes prior to purchasing the property.

Types

- Light vegetation
- Contour
- Low



1.1 Driveway

Notes

Concrete driveway with major cracking, advised to repair.

Types

- Concrete
- Asphalt





1.2 Paths

Notes

The pavers/paths do not appear not level, advised to relay. Consult a paver and concrete placer.

Any sudden difference in height can cause trip hazards.

There appears to be a hole in the pavers, possibly a drain. Check if there is a sump installed before it enters the stormwater system.

Types

Pavers



1.3 Exterior Steps

Notes

Steps appear to be above the max rise or a difference between each step or handrail height is insufficient or the balustrade exceeds the max spacing or posts are spaced further than the allowed max centers. Advised to replace.

The construction of the stairs is crucial for the safety of occupants.

Deck boards/structure appear to touch or is close to the cladding. A gap is required to allow proper drainage, without adequate drainage issues like rot can occur. It can potentially lead to significant repair or replacement costs. It is advised to consult an architect and a licensed building practitioner.

The post sizes appears insufficient.

Types

Timber





1.4 Fence

Notes

Fence appears to be broken/leaning in certain areas and needs repair. Advised to install palings off the ground to prevent accelerated rotting. Advised to install independent post for the fence to avoid extra penetrations into the property.

Types

- Timber
- Steel





1.5 Deck 1

Notes

Deck boards/structure appear to touch or is close to the cladding. A gap is required to allow proper drainage, without adequate drainage issues like rot can occur. It can potentially lead to significant repair or replacement costs. It is advised to consult an architect and a licensed building practitioner.

Types

Timber



2. Sub Floor

Notes

There appears to be damage to the framing timber. The brick work appears to be leaning on an angle.

There appears to be a packer between the subfloor and sed pile.

The join for the bearer appears to be mid span, advised to join them on the piles.

The joist has been cut or notched for the waste pipe, advised to replace the joist immediately. Any cuts or notches affect the structural integrity of the building.

There appears to have been flooring repairs, advised to check all the floor for any moisture damage and replace the flooring.

Advised to clean out the subfloor of debris and all building materials.

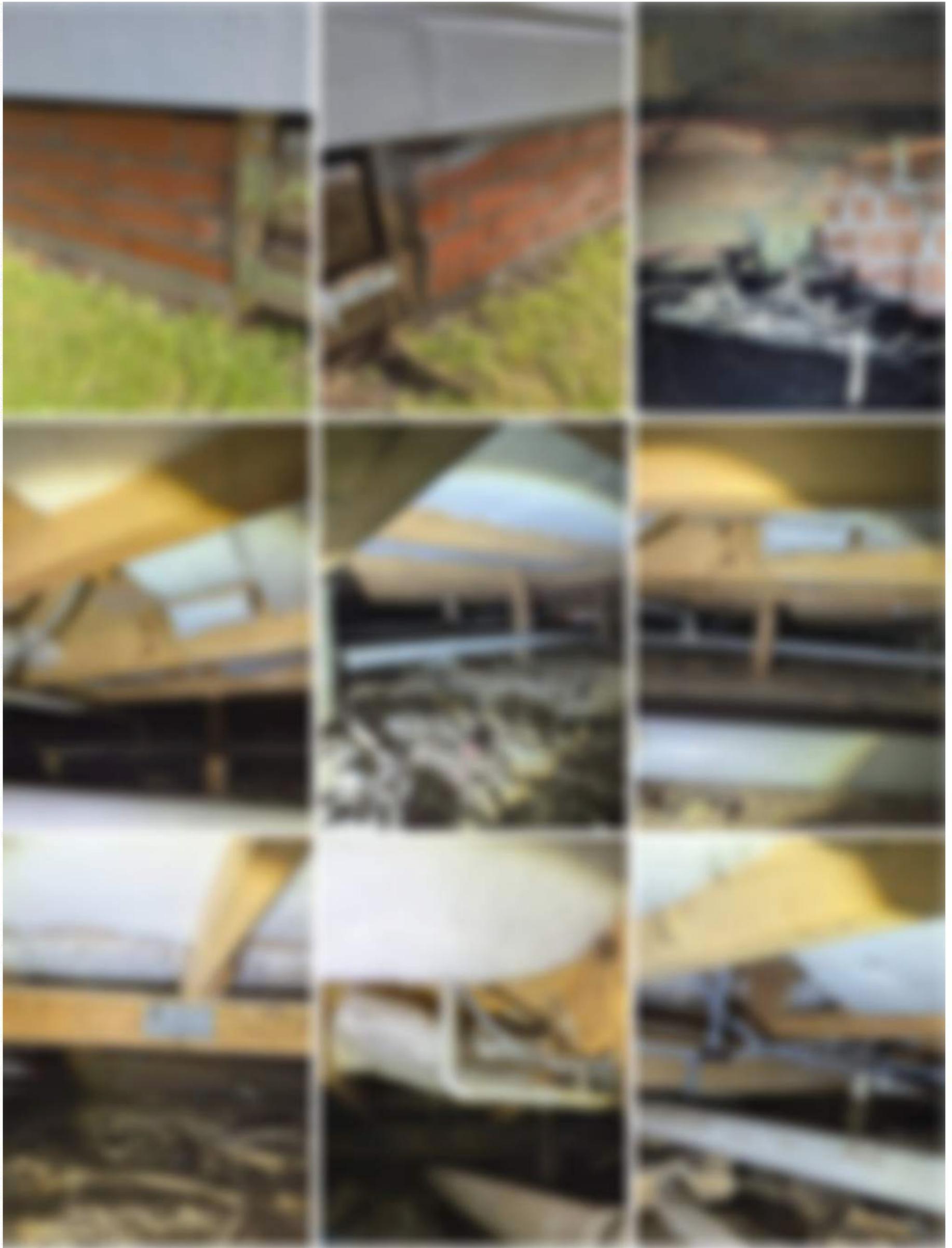
Insulation missing in areas.

Further investigation required.

Types

- Location of access point
- Accessibility
- Bad
- Foundation Type
- Pile
- Block/Concrete
- Ground Vapour Barrier
- Insulated
- Not Installed
- East







3. Roofing

Notes

Considering the age and condition of the roof and flashings, it is strongly advisable to consult with an Independent Qualified Person (IQP) roofing contractor. They can thoroughly assess the roof and flashings, providing their expert opinion on their expected lifespan and the necessary maintenance to ensure they remain durable and weather-tight.

There appears to be over tightened screws or dents in the roofing. The O ring may be damaged or degrade faster causing water ingress.

The paint coating on the screw appears to be missing.

Ensure all penetrations are properly sealed to prevent water damage.

Consult a roofer regarding a reroof.

Types

- The roof viewed from the ground or on a ladder only
- Corrugated iron
- Unable to determine the water tightness of the roof





3.1 Eaves, Fascia, Barges & Soffits

Notes

The fascia/barges is constructed from timber. The soffit is constructed from fibre cement (check for asbestos).

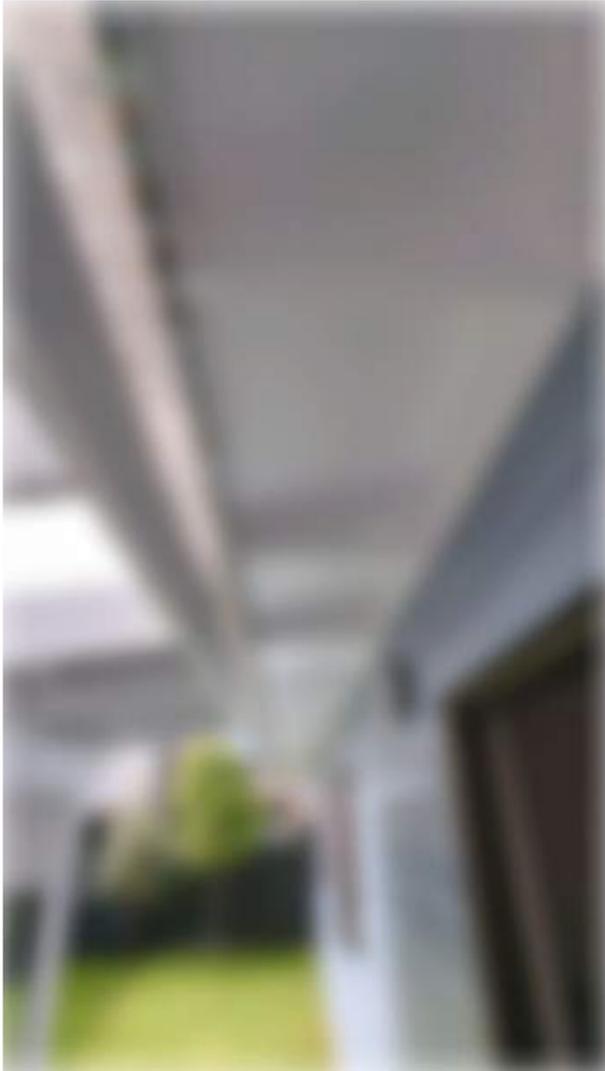
The fascia/barges appears to be damaged/rotting.

The gutter will need to be removed to paint/repair the fascia board.

Types

- Fibre cement board
- Timber





3.2 Gutters

Notes

The gutter appears to be ponding/dirty, advised to consult a roofer or plumber.

The gutter will need to be removed to paint/repair the fascia board.

Types

- Pvc
- Nails used or insufficient fixings



3.3 Downpipes

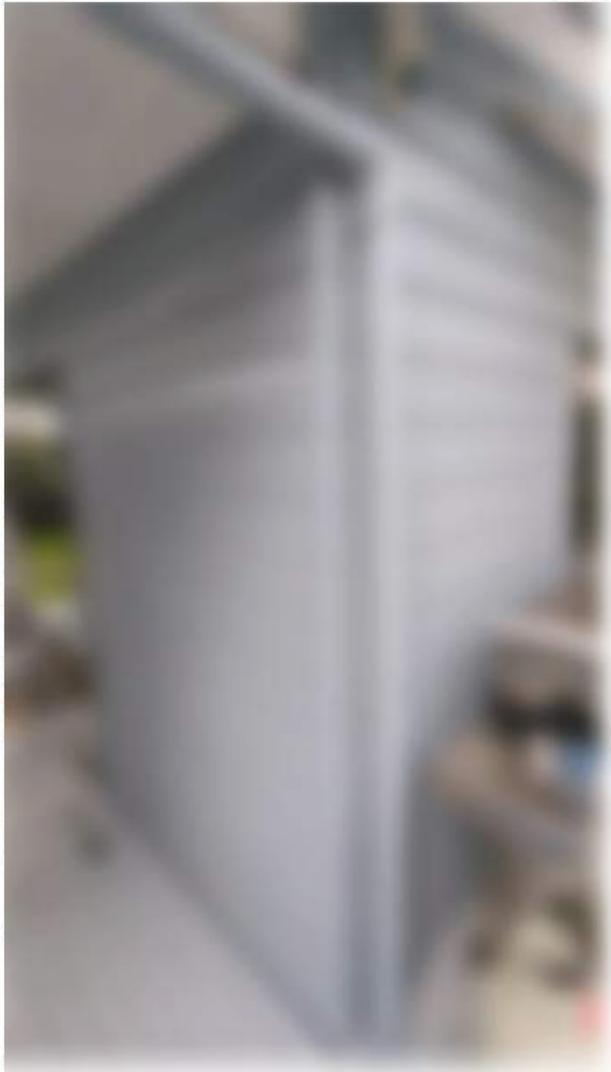
Notes

Check downpipe manufacturer regarding bracket spacing. For example Marley require a bracket 200mm from bends and 1200mm intermediate brackets.

Advised to use stainless steel screws for the brackets.

Types

Pvc



4. Exterior Construction Structure/Cladding

Notes

Direct fixed cladding involves attaching the cladding directly to the framing without a cavity. While this method may have been acceptable at the time of construction, most modern buildings now include a cavity. It is important to understand that cavities are not designed to intentionally channel water; the primary method of preventing water intrusion is through the proper installation of the cladding itself. Cavities serve as a secondary defense to manage any water that may accidentally bypass the cladding. By allowing the water to drain down the back of the cladding and out through the base of the cavity. Then remaining moisture can dry through ventilation.

For properties with direct fixed cladding that have not been reclad to include a cavity, it is important to be aware that a reclad may be necessary during or after your occupation of the property. Therefore, it is recommended to obtain a quote to determine the potential cost of a reclad before purchasing the property.

There appears to be damage, splitting, double nailing on the weatherboard. Water ingress may occur at these areas and cause costly structural damage to the property. Unable to determine if there is any unseen damage that has already occurred. Further investigation required to ascertain any issues.

The box corner does not appear to have scribes or plugs installed, water ingress will occur at this junction.

Further investigation required.

Types

- Timber framed
- Weatherboard/Board and Batten
- Appears to be direct fixed cladding construction







4.1 Window/Doors

Notes

The cladding to head flashing clearance appears to be insufficient, typically 5mm min. The head flashing are joined or short, or there is no head flashing installed. The issue that can arise is water ingress leading to structural rot and damage to the property. Where the clearance is insufficient the water may pond between the cladding and head flashing by capillary action. Deteriorating each material till water ingress occurs. Costs may be significant to rectify the issues.

The head flashing does not appear to extend past the joinery far enough.

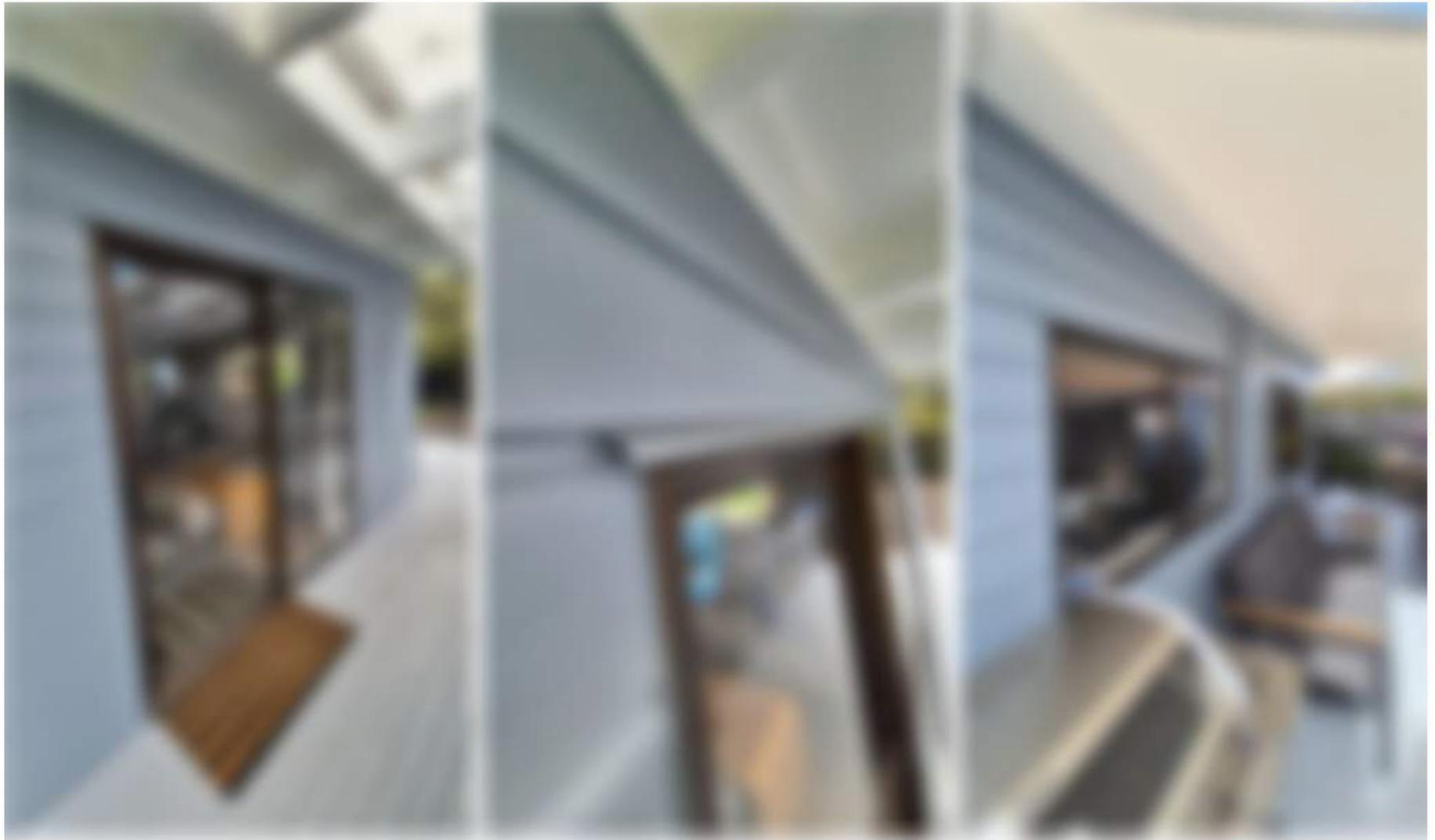
The joinery require maintenance eg seals, paint, putty, hardware and trimming or replacement. Lack of maintenance may lead to water ingress, damaged joinery and or structure of the property. Costs may be significant to rectify the issues.

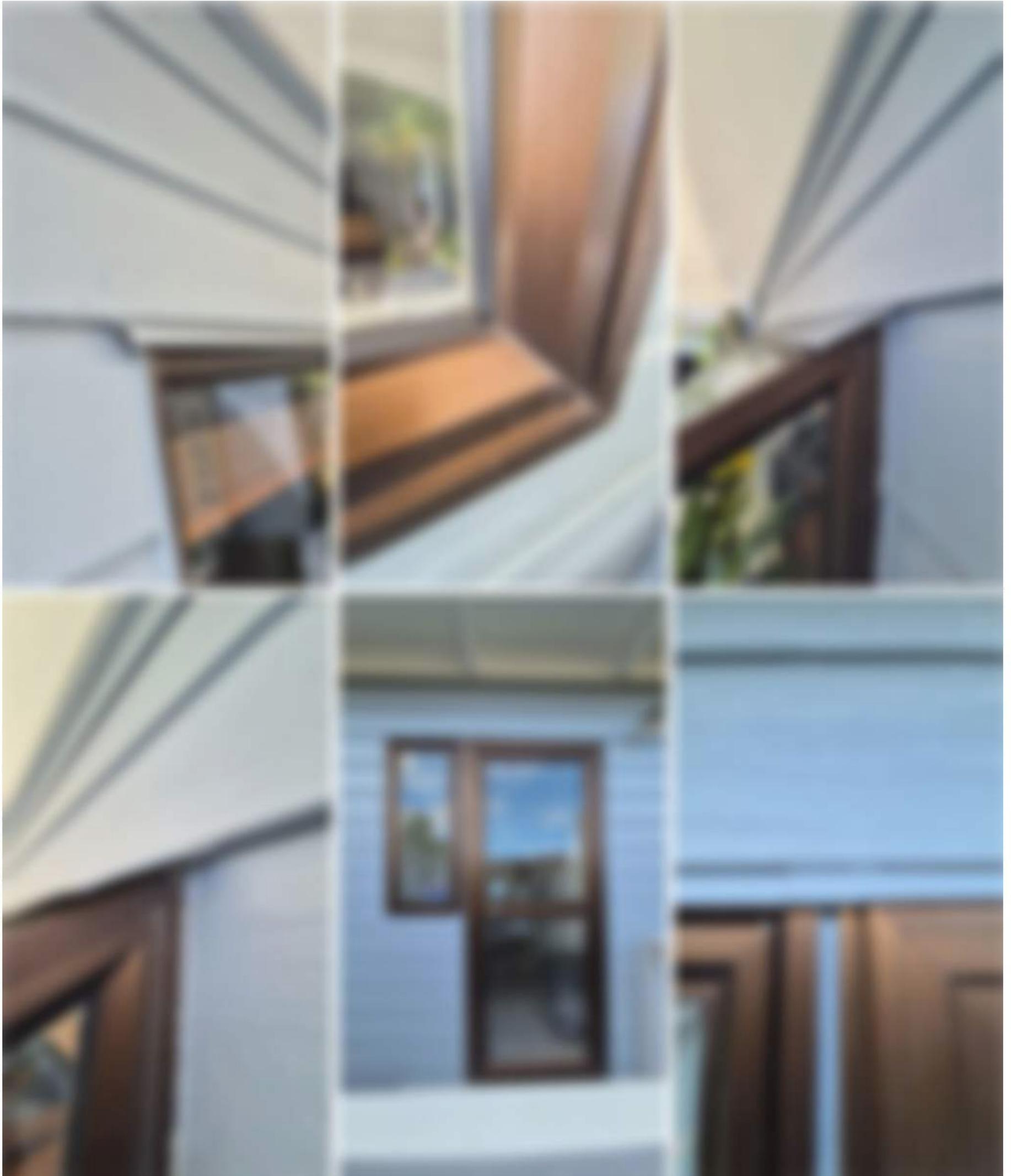
It is advised to replace with new double glazed units for thermal efficiency.

Consult an architect and lbp builder.

Types

- Single glazed
- Aluminum







4.2 Heat Pumps

Notes

Not tested, advised to test at settlement inspection.

Fixings appears to be rusting, advised to replace.



4.3 Penetrations

Notes

A general observation is that penetrations through various cladding and roofs can potentially lead to moisture ingress, unless they are adequately flashed or sealed. Solely relying on silicone sealants for sealing these penetrations is considered imprudent. It is advisable to regularly inspect the condition of silicone used in such areas to preempt any potential water ingress. This applies to a range of examples, including but not limited to waste pipes or pipes in general, hot water heaters, power meter boxes, fence posts, attachment points, light fixtures, wiring, alarm siren boxes, TV aerials, and electrical penetrations.

Check all penetrations have a penetration seal to ensure water ingress does not occur and structural damage etc. Regular checks every 6 months is recommended and replacement/repair when needed to ensure the property is water tight.



4.3.1 Risk Junctions: Flashings

Notes

The Writer was not present at time of construction and can only comment on a visual basis. Incorrectly installed or the lack of flashings around joinery/vent grilles/meter box etc are well known documented areas of water ingress. Advised to consult an architect and lbp builder.

If water ingress occurs rot damage will follow, the cladding to framing may need to be replaced. Costs may be significant to rectify the issues.

Types

- No mechanical head flashings above vent grilles
- No mechanical head flashings to exterior electrical box



4.4 Penetrations

Notes

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Types

- No mechanical head flashings above vent grilles
- No mechanical head flashings to exterior electrical box

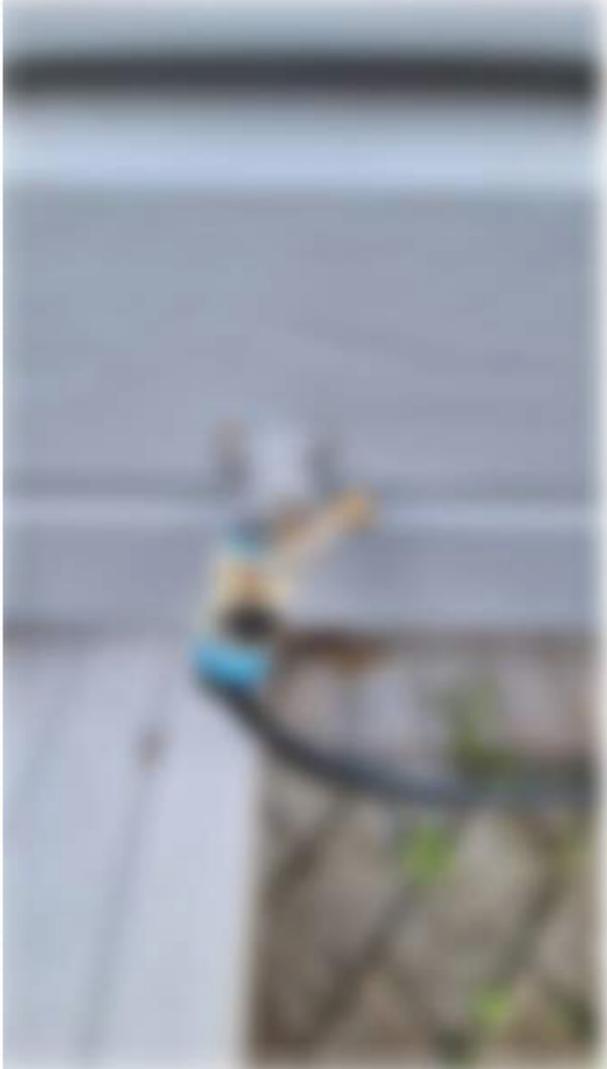


4.5 Exterior Plumbing

Notes

Int screws used.

Outdoor taps/tanks are not tested.



4.6 Exterior Features

Notes

Garden shed appears to be rusting/damaged, advised to replace.

Types

Garden shed



4.7 Sleep out/Office

Notes

The cladding to head flashing clearance appears to be insufficient, typically 5mm min. The head flashing are joined or short, or there is no head flashing installed. The issue that can arise is water ingress leading to structural rot and damage to the property. Where the clearance is insufficient the water may pond between the cladding and head flashing by capillary action. Deteriorating each material till water ingress occurs. Costs may be significant to rectify the issues.

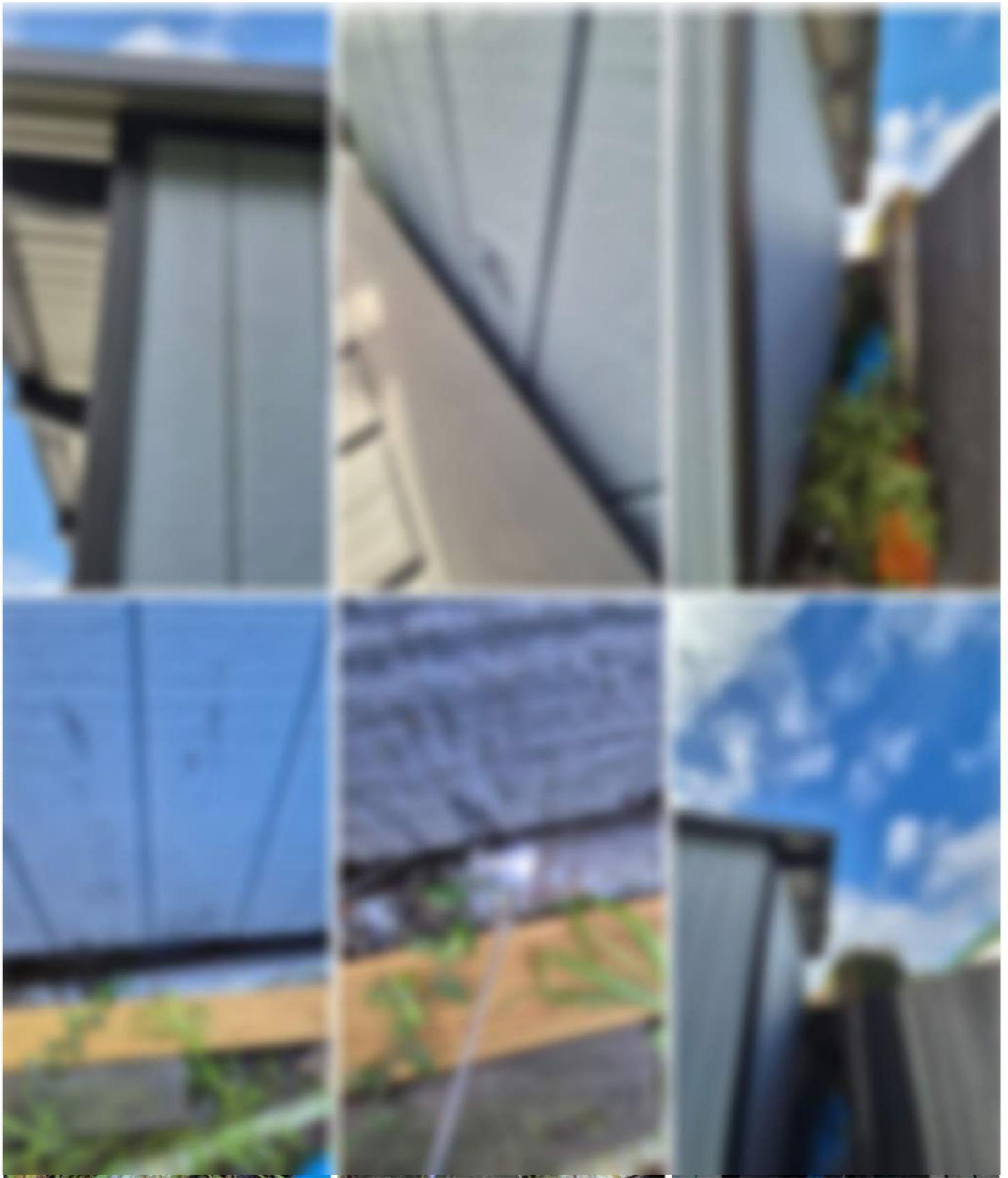
There appears to be damage to the cladding in certain areas. This could lead to water ingress, potentially causing structural damage. The back of the sheet/cut edges does not appear painted and appears black/mouldy, this may void the warranty. Check if the consented plans if the cladding is shadowclad.

Advised to check if the piles have been concreted into the ground.

There does not appear to be a downpipe.

Further investigation required.









5. Garage

Notes

The cladding to head flashing clearance is insufficient, typically 5mm min. The head flashing are joined or short, or there is no head flashing installed. The issue that can arise is water ingress leading to structural rot and damage to the property. Where the clearance is insufficient the water may pond between the cladding and head flashing by capillary action. Deteriorating each material till water ingress occurs. Costs may be significant to rectify the issues.

The handrail appears to be attached to the garage/carport. Advised to separate the two.

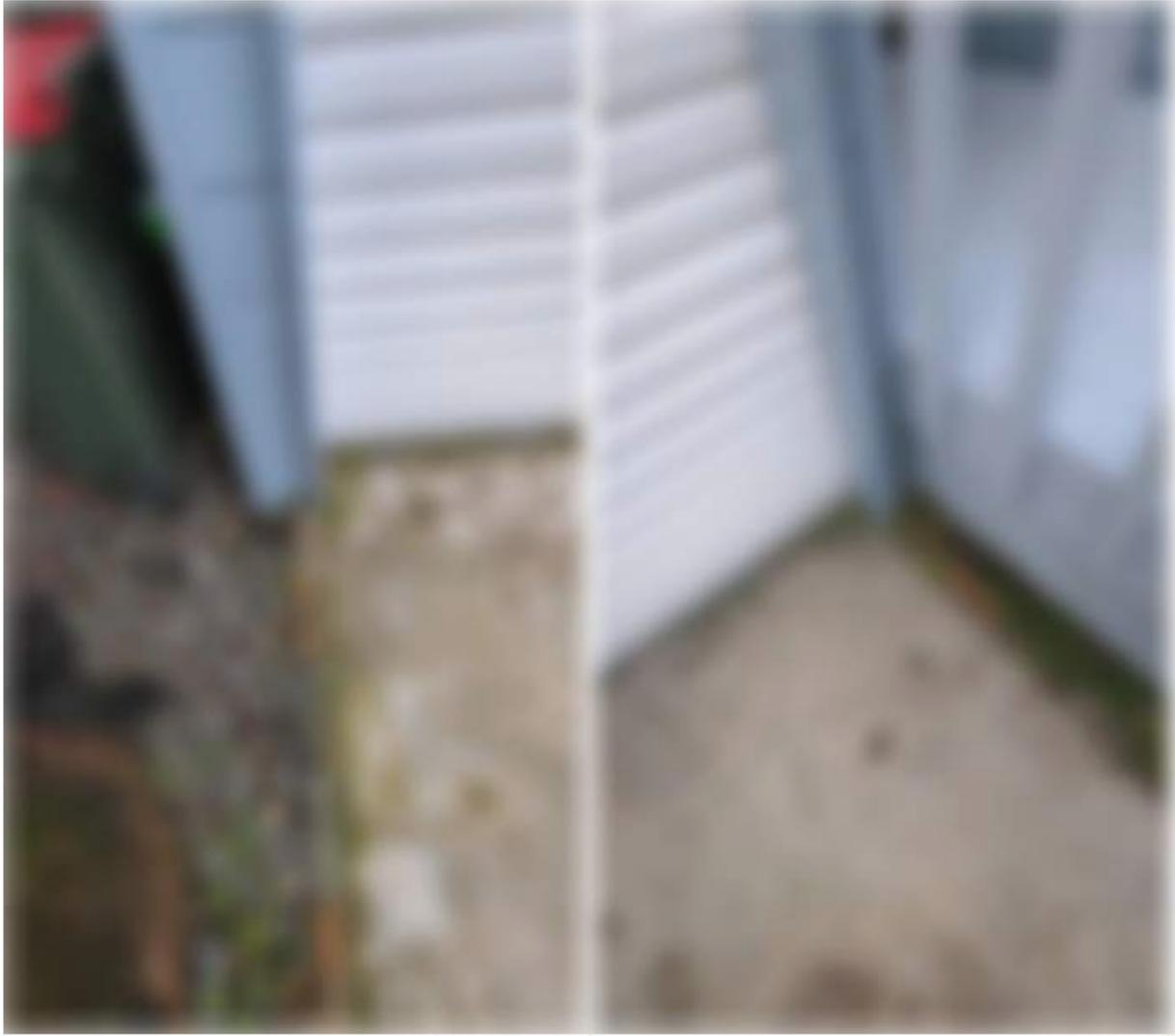
The cladding to unpaved and paved appears insufficient, advised to consult an architect and lbp builder.

Frequently, damage to structures, including the building's framework, as well as the occurrence of internal dampness, can be attributed to moisture being drawn upward from the ground due to capillary action occurring behind the cladding. It is imperative that cladding is never covered or close to the ground level under any circumstances. It is strongly advised to inspect all areas meticulously to confirm that the specified clearance requirements are met. The writer has diligently strived to accurately ascertain the cladding materials employed in the building's construction without resorting to invasive testing or an examination of construction plans and records.

Direct fixed cladding involves attaching the cladding directly to the framing without a cavity. While this method may have been acceptable at the time of construction, most modern buildings now include a cavity. It is important to understand that cavities are not designed to intentionally channel water; the primary method of preventing water intrusion is through the proper installation of the cladding itself. Cavities serve as a secondary defense to manage any water that may accidentally bypass the cladding. By allowing the water to drain down the back of the cladding and out through the base of the cavity. Then remaining moisture can dry through ventilation.

For properties with direct fixed cladding that have not been reclad to include a cavity, it is important to be aware that a reclad may be necessary during or after your occupation of the property. Therefore, it is recommended to obtain a quote to determine the potential cost of a reclad before purchasing the property.





6. Interior/Flooring

Notes

Flooring is significantly out of level, squeaking/springy boards when walked across. Unlevel floors could indicate the property may require a repile or level. A floor survey may be required, costs may be significant to rectify the issues.

Older houses tend to have unlevel, squeaking floors.

Check the flooring install instructions, for example the Quick Step flooring requires gaps of 2mm within 1m or 1mm in 20cm to be filled.

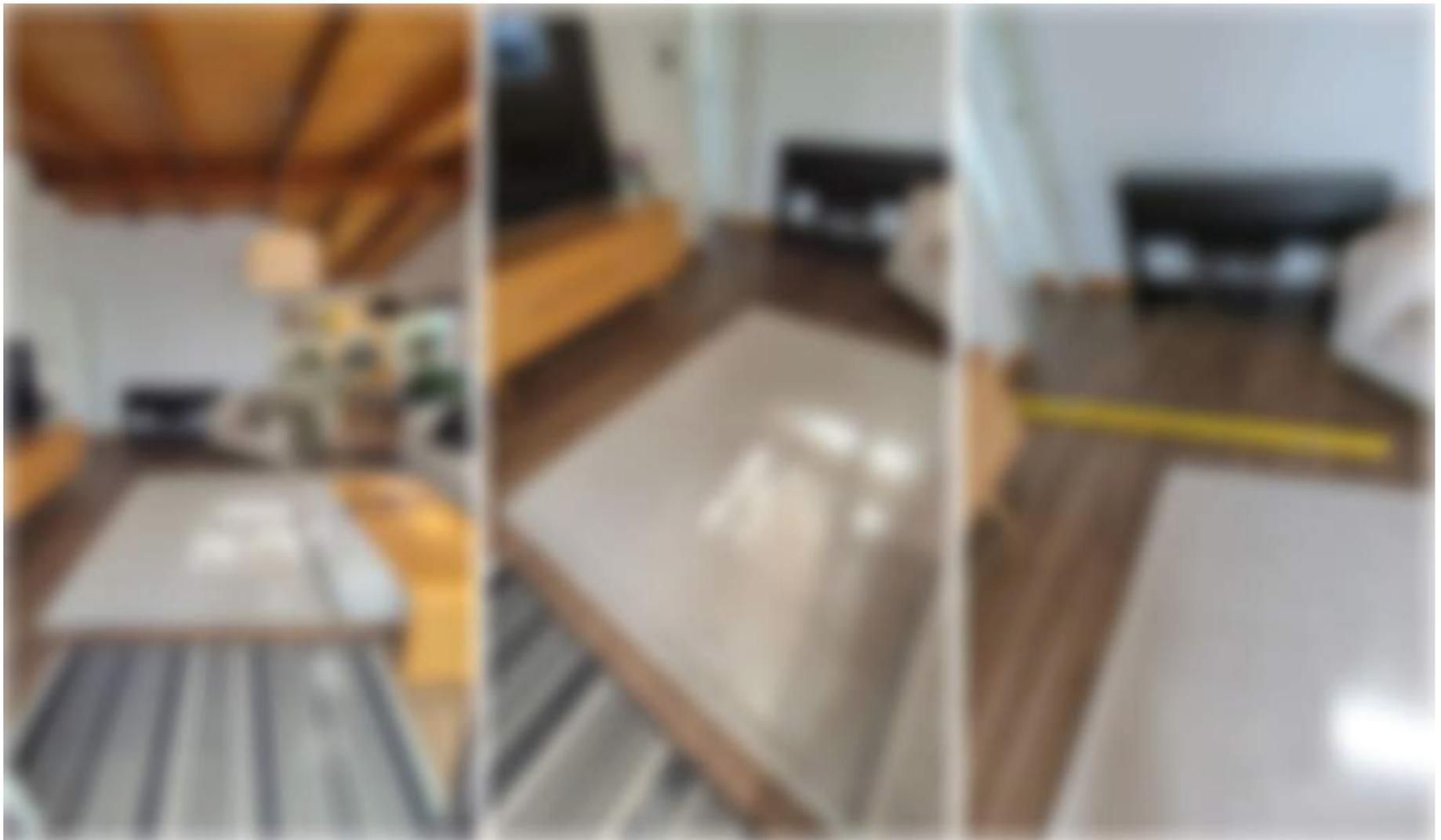
Advised to level the subfloor prior to the reinstallation of the laminate/tile.

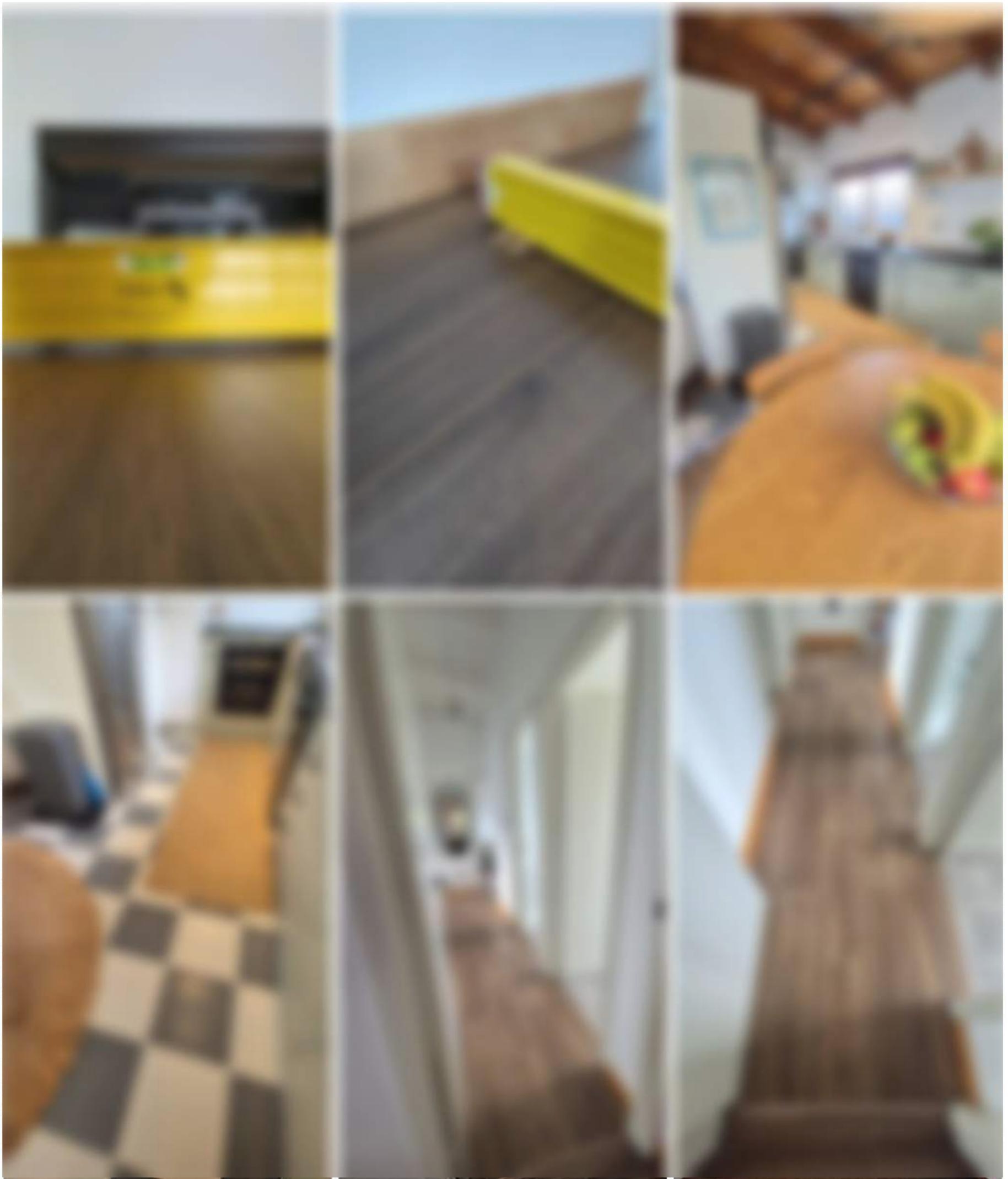
The laminate appears up to 5mm out of level.

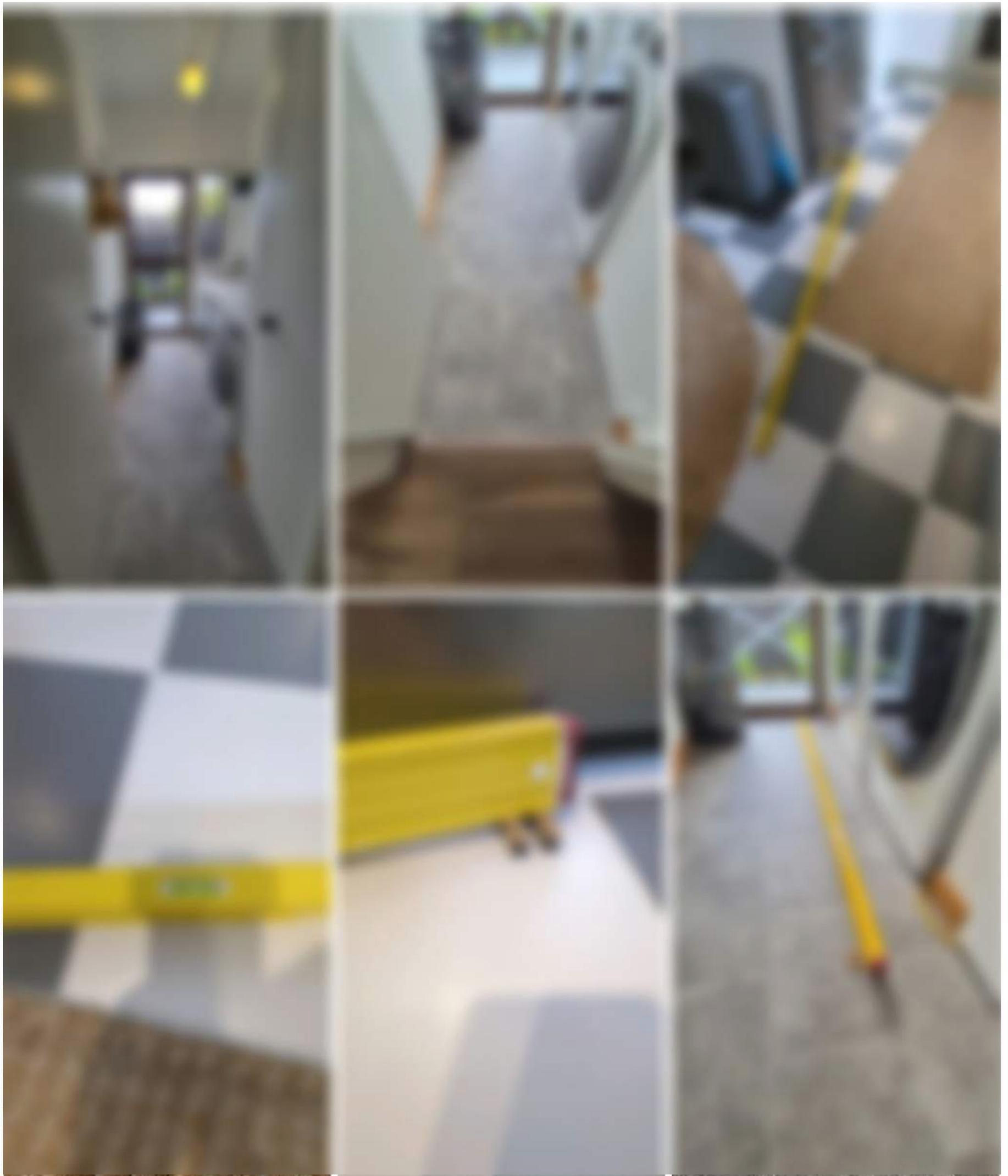
The tiles appears to be over the 4mm in 2m allowance. It appears up to 15mm out of level.

Types

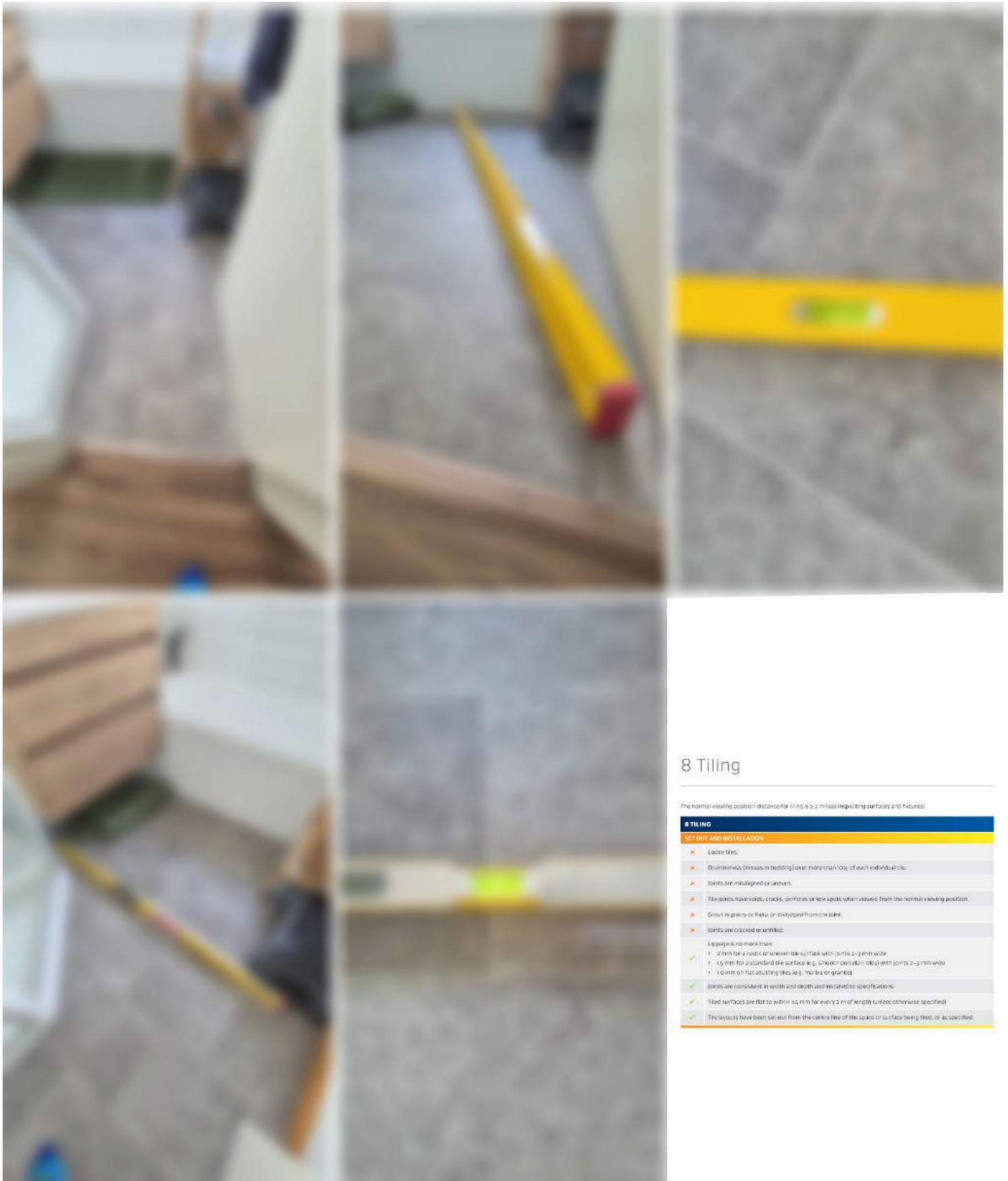
- Composite board/ply over floor joists
- Significantly out of level











8 Tiling

The normal viewing position distance for tiling is 2.2 m (see inspecting surfaces and fixtures)

8 TILING	
SET OUT AND INSTALLATION	
<input checked="" type="checkbox"/>	Loose tiles.
<input checked="" type="checkbox"/>	Drumminess (misses in bedding) over more than 10% of each individual tile.
<input checked="" type="checkbox"/>	Joints are misaligned or uneven.
<input checked="" type="checkbox"/>	Tile joints have voids, cracks, pinholes or low spots when viewed from the normal viewing position.
<input checked="" type="checkbox"/>	Grout is grainy or flakey or discoloured from the joint.
<input checked="" type="checkbox"/>	Joints are cracked or unfilled.
Eppage is no more than:	
<input checked="" type="checkbox"/>	2 mm for a hard or uneven tile surface with joints 2-3 mm wide
<input checked="" type="checkbox"/>	1.5 mm for a standard tile surface (e.g. smooth porcelain tiles) with joints 2-3 mm wide
<input checked="" type="checkbox"/>	1.0 mm on flat abutting tiles (e.g. marble or granite)
<input checked="" type="checkbox"/>	Joints are consistent in width and depth and measured to specifications.
<input checked="" type="checkbox"/>	Tiled surfaces are flat to within 2.0 mm for every 2 m of length (unless otherwise specified)
<input checked="" type="checkbox"/>	The layouts have been set out from the centre line of the space or surface being tiled, or as specified.



1. PREPARATION 2. INSTALLATION 3. FINISHING 4. MAINTENANCE

INSTALLATION INSTRUCTIONS FOR QUICK-STEP LAMINATE WITH HYDROSEAL TECHNOLOGY.

IN ORDER TO OBTAIN A GOOD RESULT, WE ADVISE TO FOLLOW ALL GIVEN INSTRUCTIONS CAREFULLY.

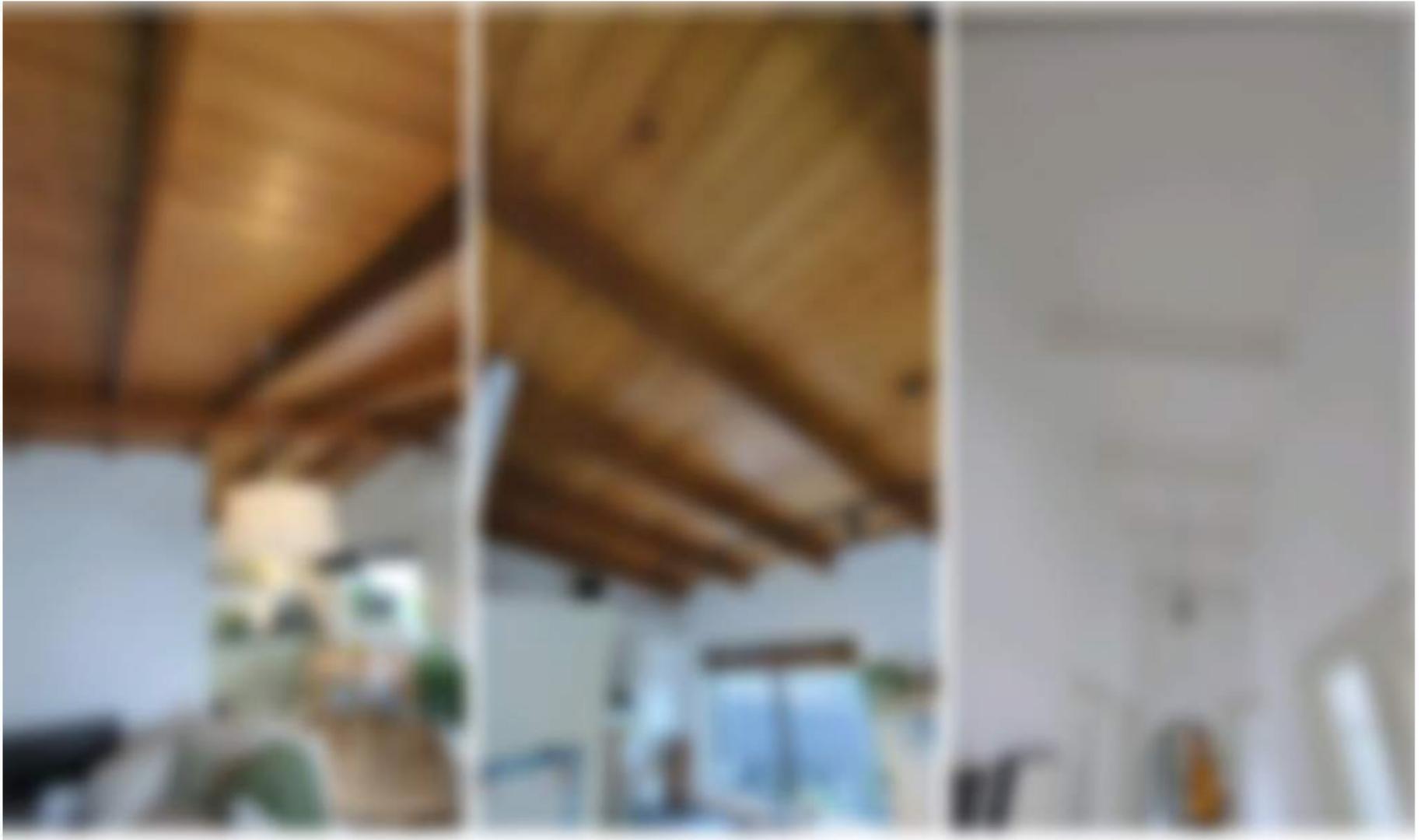


6.1 Ceiling

Notes

Appears acceptable at the time of inspection.

Type



6.2 Walls

Notes

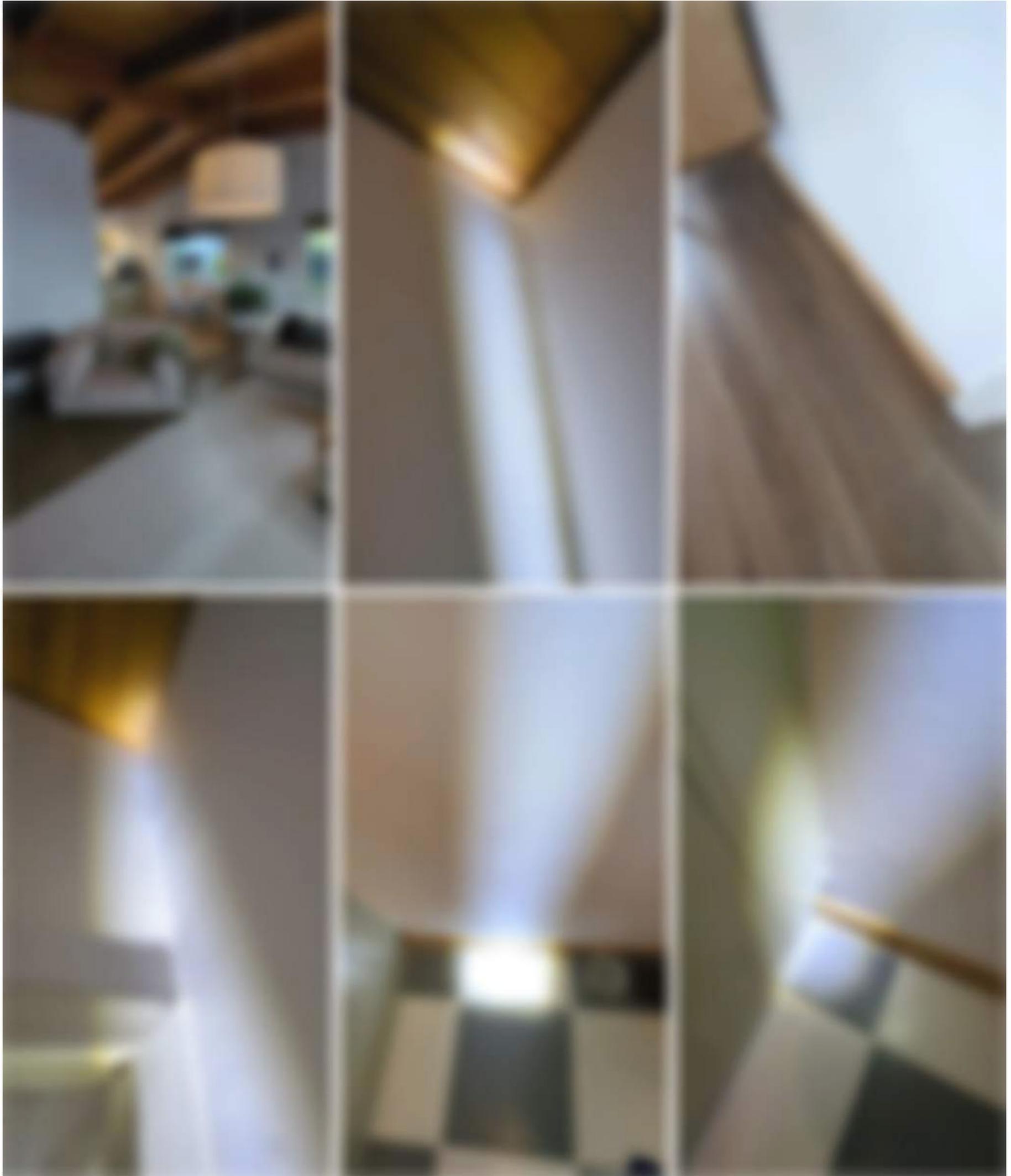
Walls decoration required at the time of inspection. Paint as recommended according to the manufacturer's specifications.

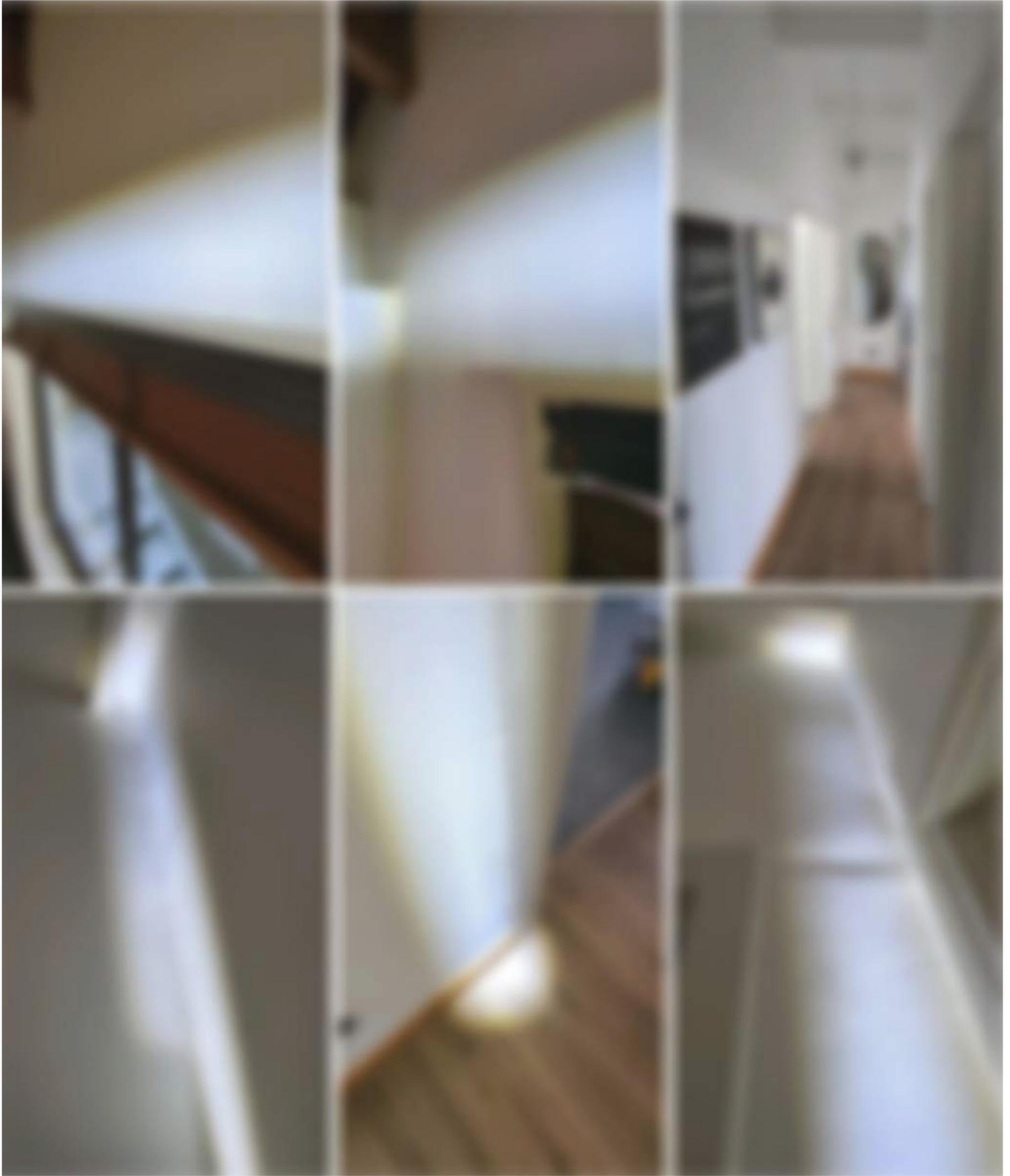
Popped screws, joint lines, drips and cracks present at the time of inspection.

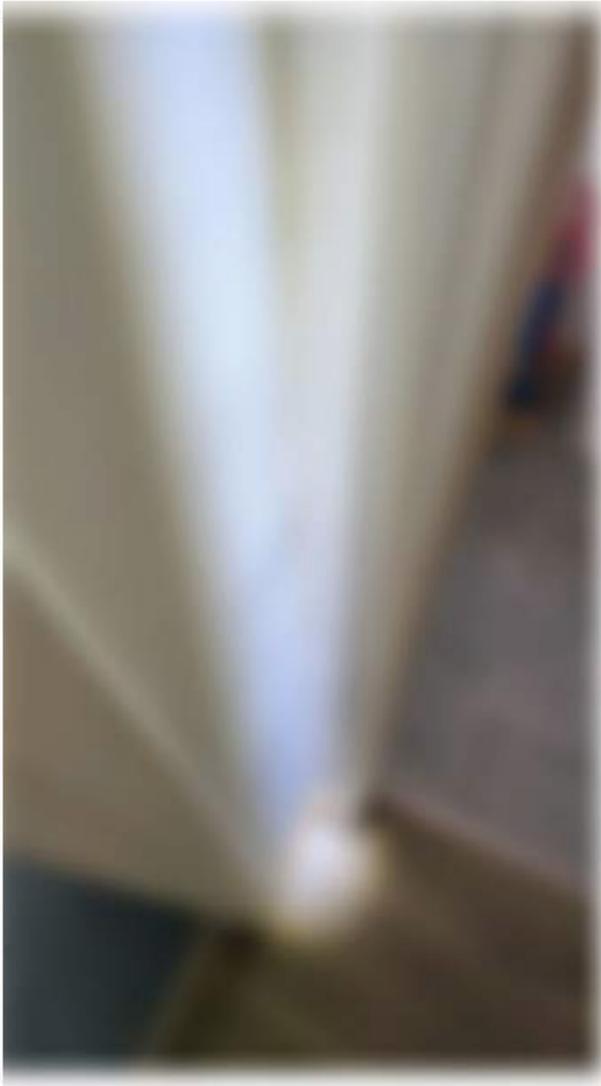
The nail on the skirting appears to be proud.

Types

Plaster board







6.3 Doors and Hardware

Notes

Door tops/bottoms are not painted, typical manufacturer warranties require the door on all faces to be painted in 7 days of arrival on site or after fitting. The warranty is otherwise void.

There appears to be water ingress/condensation/mold at the joinery at the jambs.

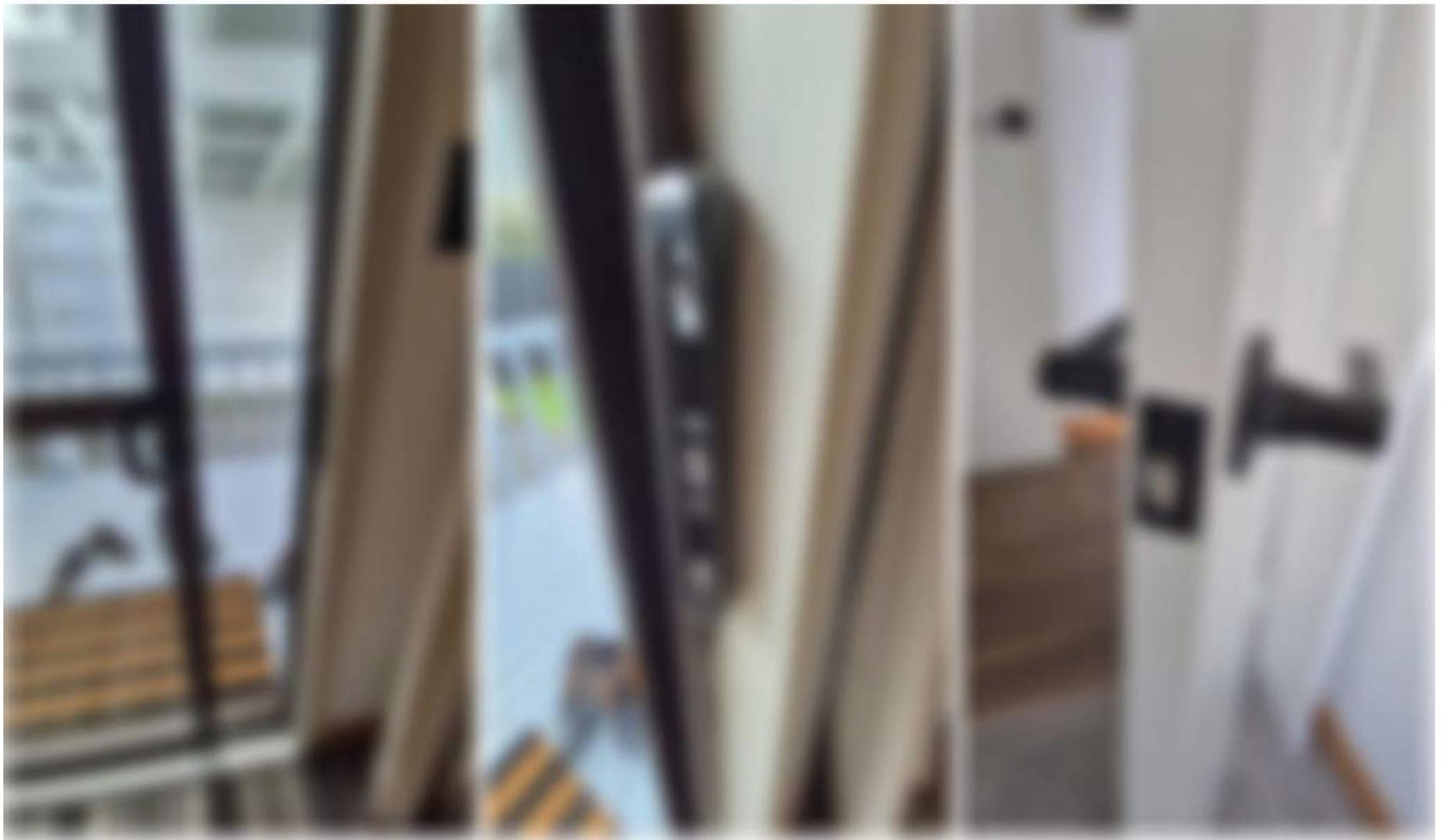
The doors need adjustments/replacement to the seals, locks or trimmed down etc.

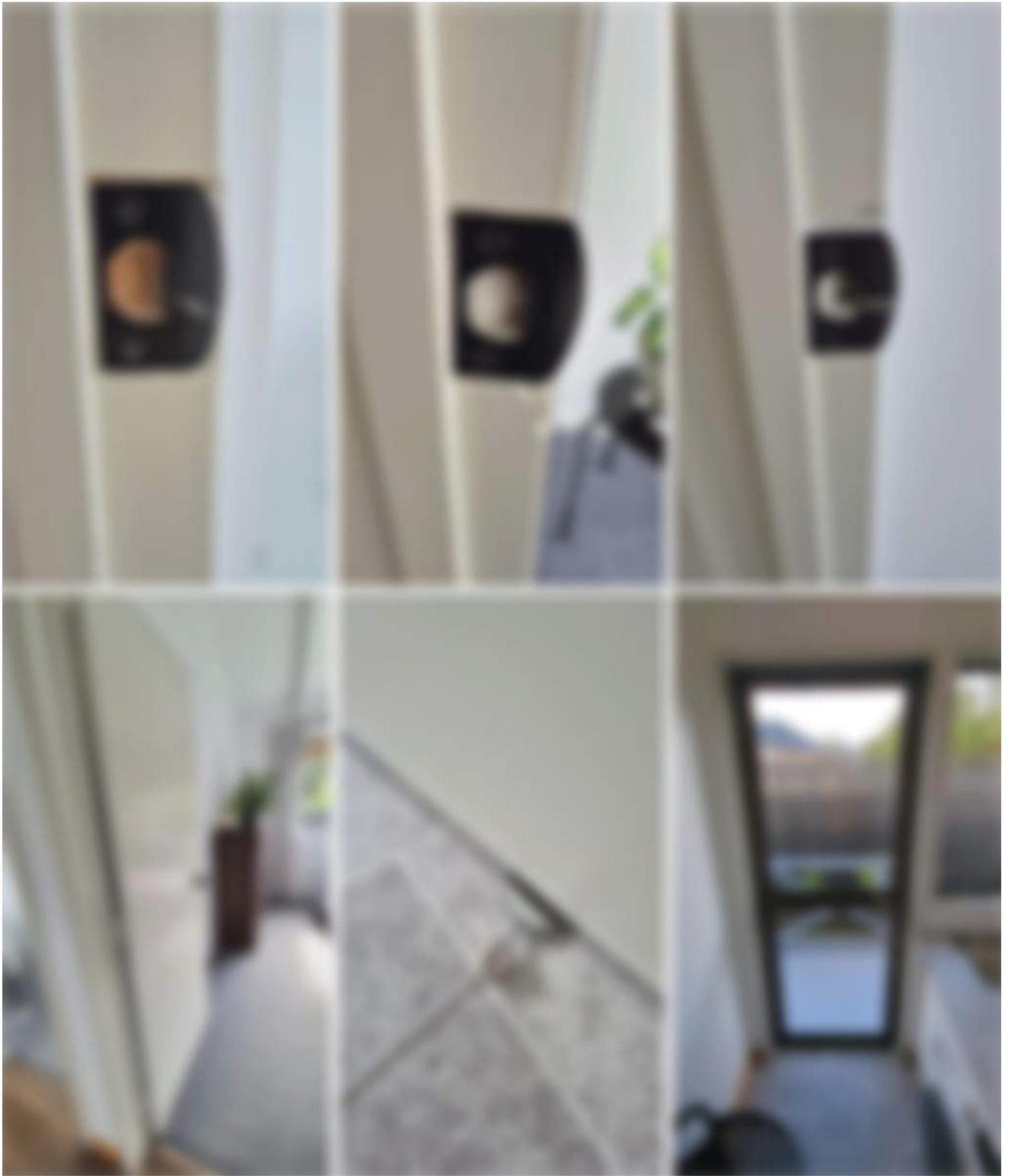
Advised to replace joinery to double glazed units.

Consult an architect and lbp builder.

Type

- Door tops/bottoms unpainted
- Damaged doors, frames and finishings
- Age related wear noted to hardware
- Defective door hardware







6.4 Window/Window Hardware

Notes

The bathroom window does not appear to be safety glass or tiled into the window.

There appears to be missing screw on the catch.

Maintenance required for the joinery eg latches, seals, trimming, painting.

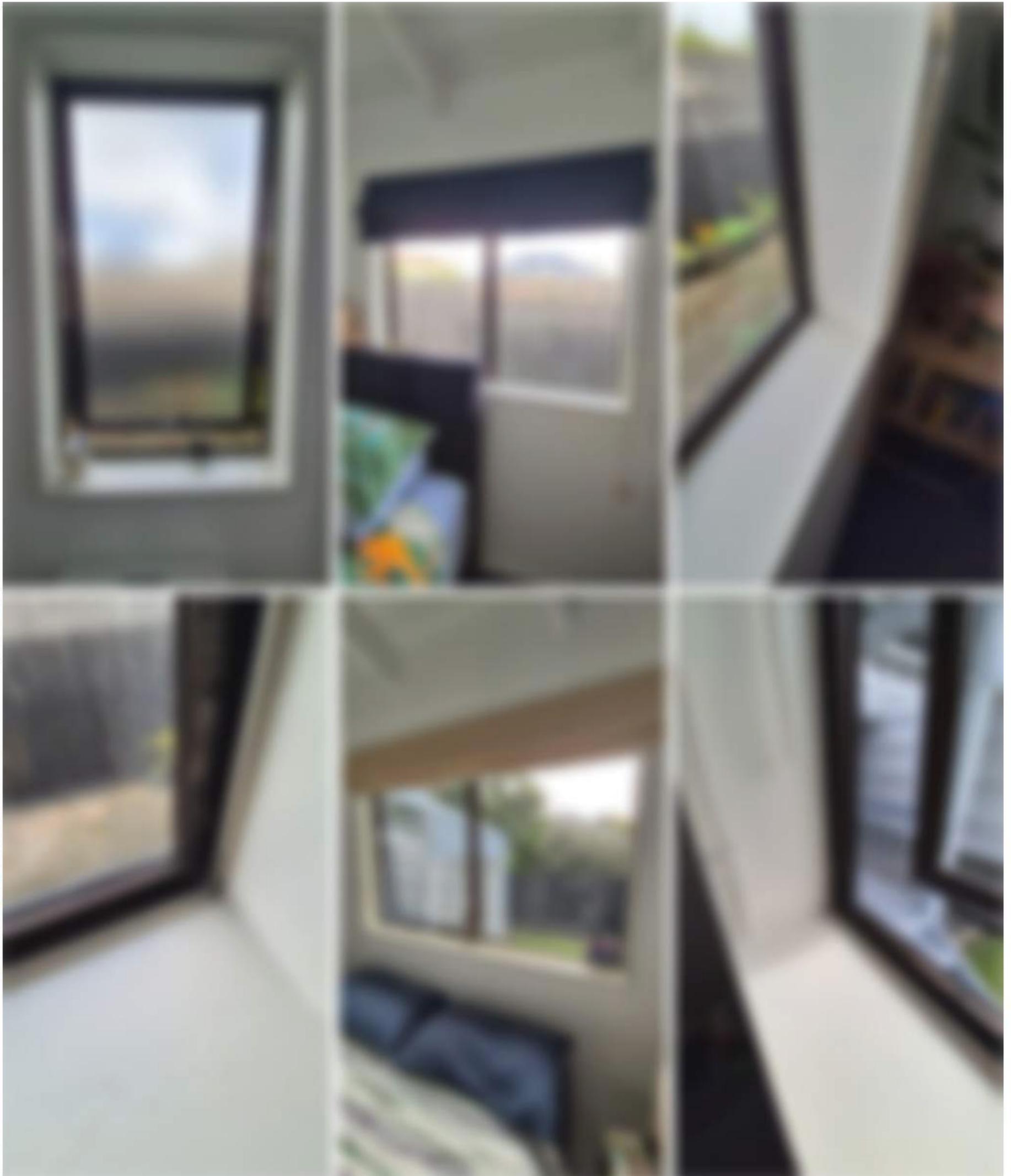
Advised to replace joinery to double glazed units.

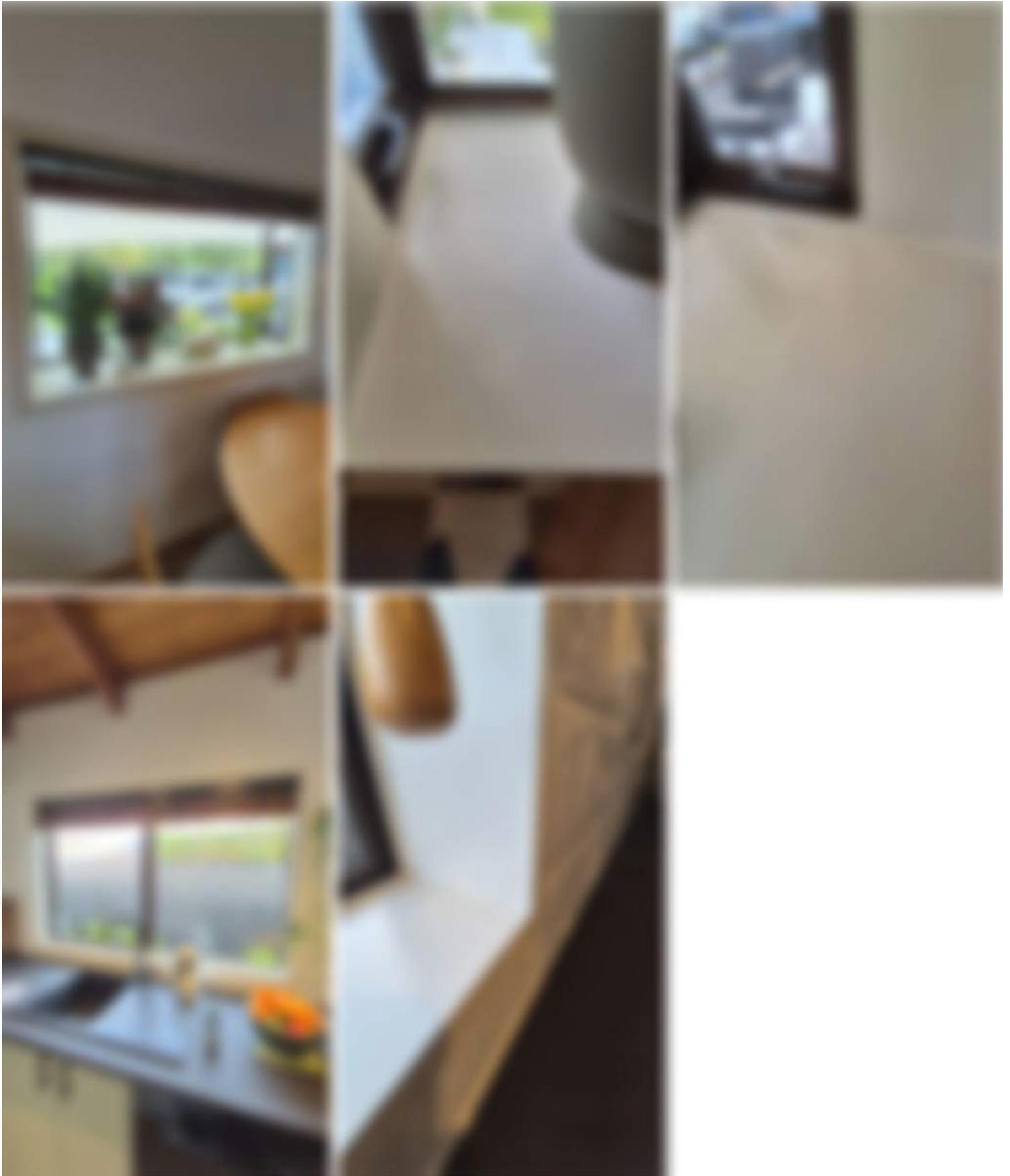
Consult an architect and lbp builder.

Type

- The use of non safety glass to low windows may have been acceptable at the time of construction
- Age related wear noted to hardware
- The current building code would require safety glass to be fitted







6.5 Security Hardware

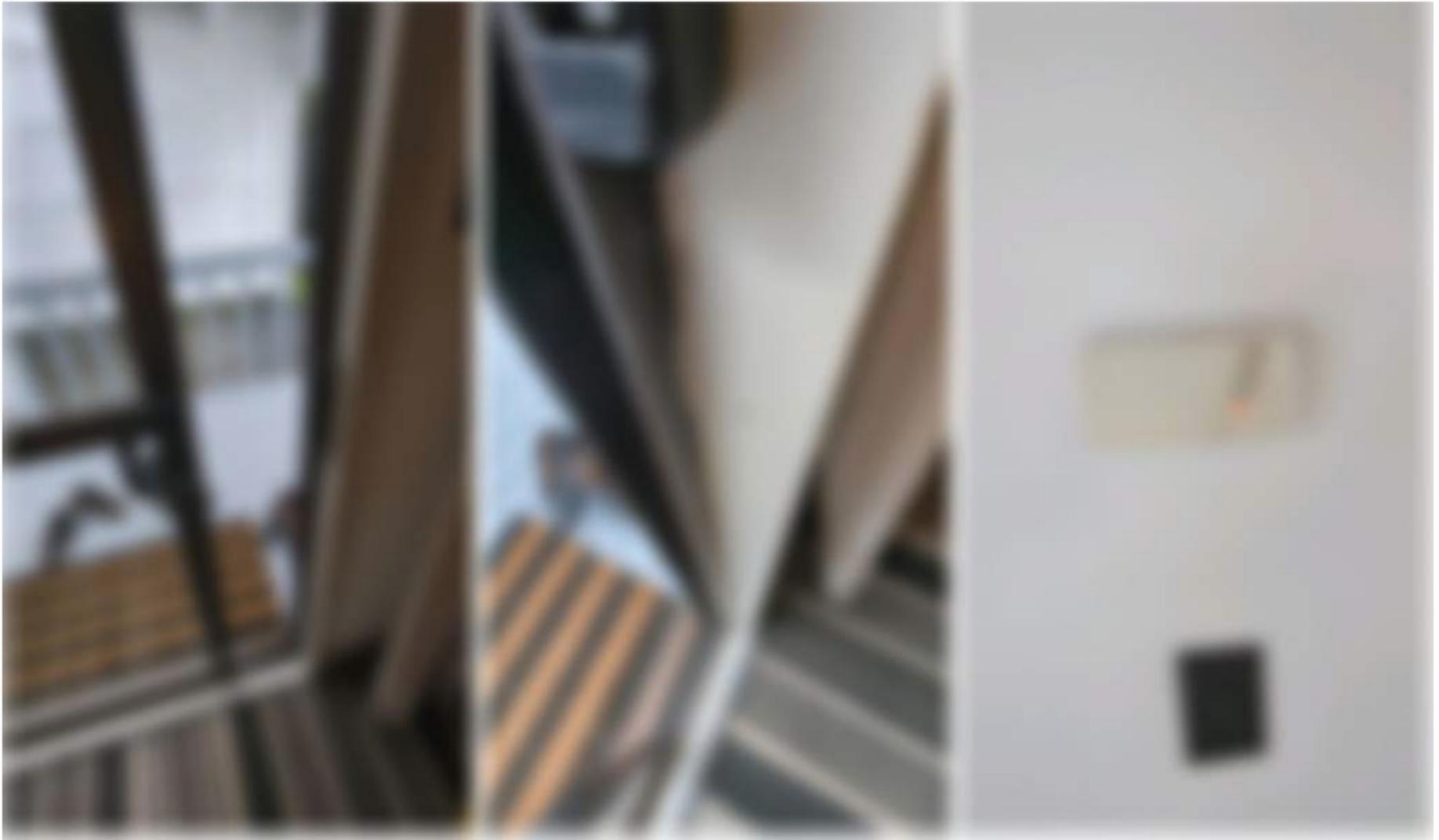
Notes

No deadbolt to front door, alarm installed. No check of the alarm was done at the time of inspection.

The fixings appears to be popping, decoration required.

Type

Alarm



6.6 Interior Rooms & Decoration

Notes

Bedroom 1
Wardrobe

Bedroom 2
Wardrobe

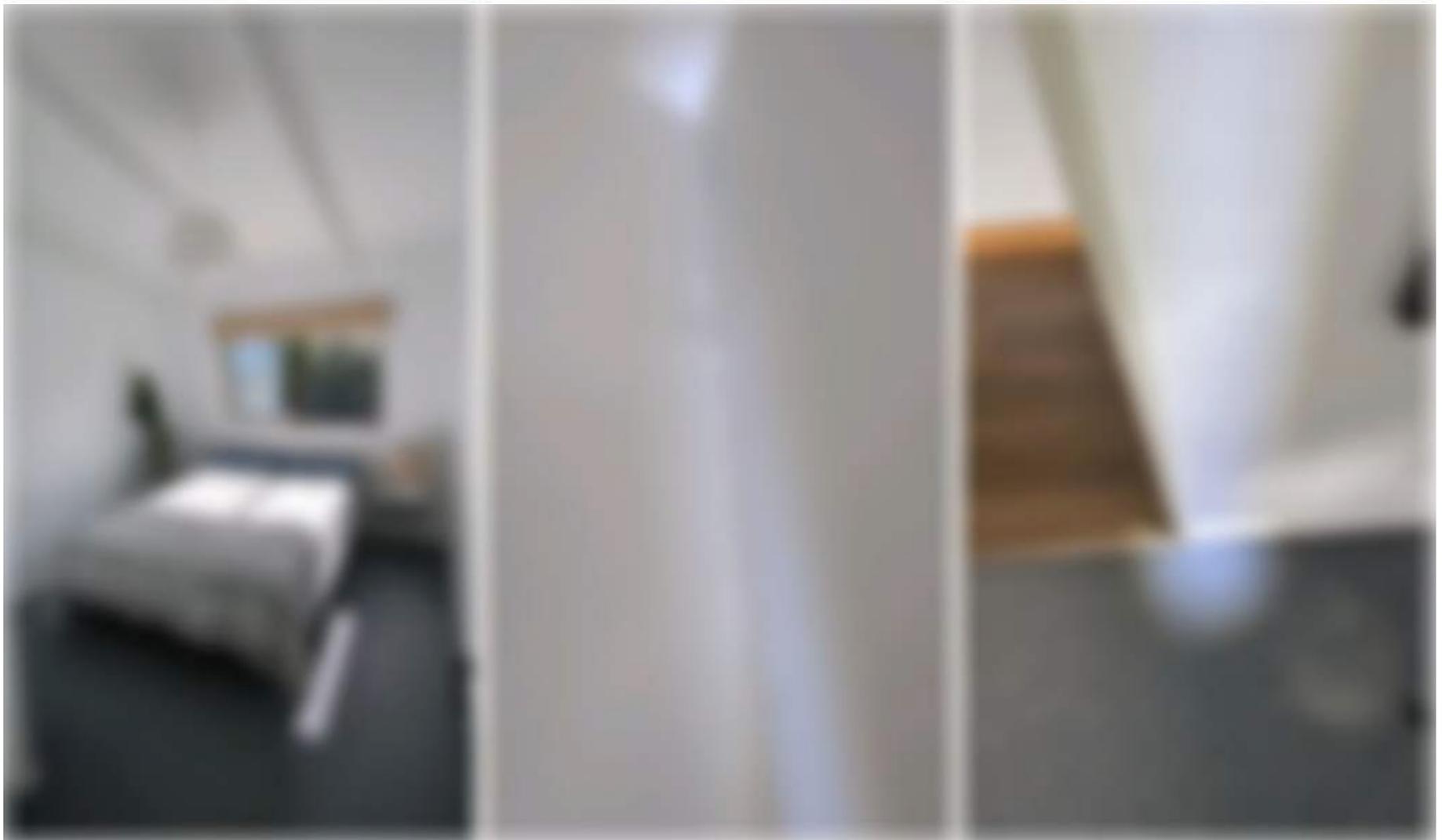
Bedroom 3
Wardrobe

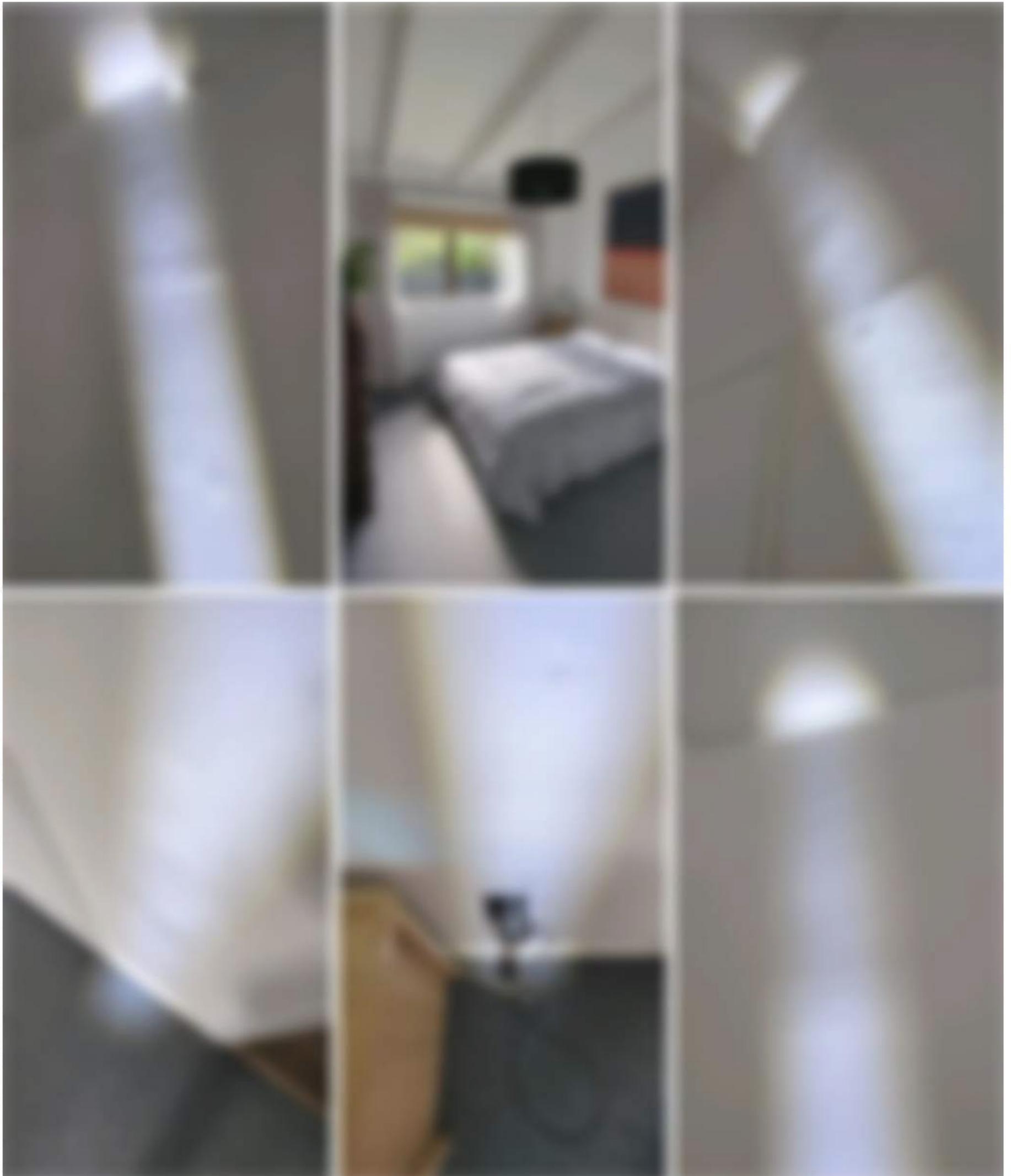
Decoration required at the time of inspection. Paint as recommended according to the manufacturer's specifications.

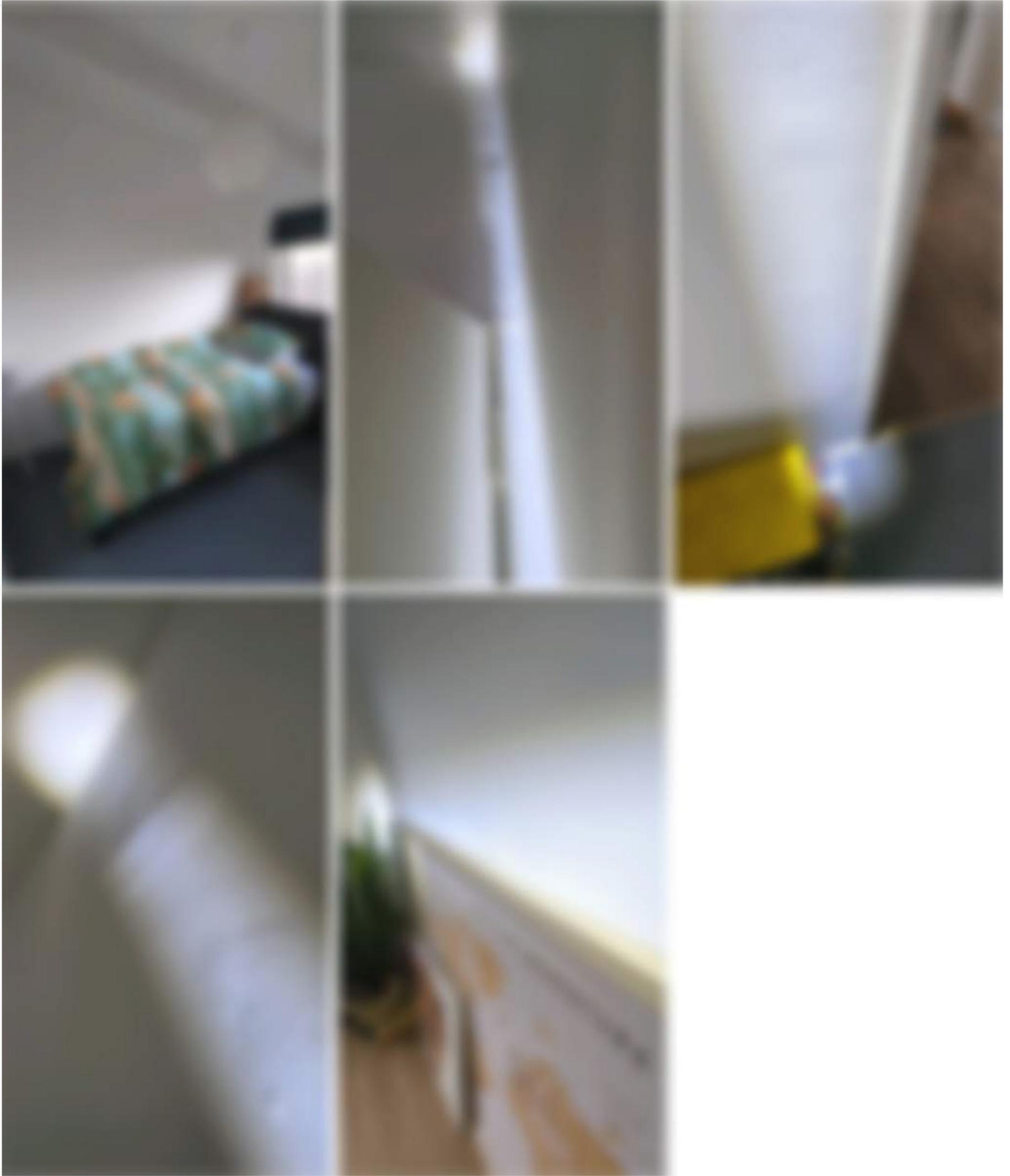
Popped screws, joint lines, drips and cracks present at the time of inspection.

Type

- Bedroom 1
- Bedroom 2
- Bedroom 3







7. Kitchen

Notes

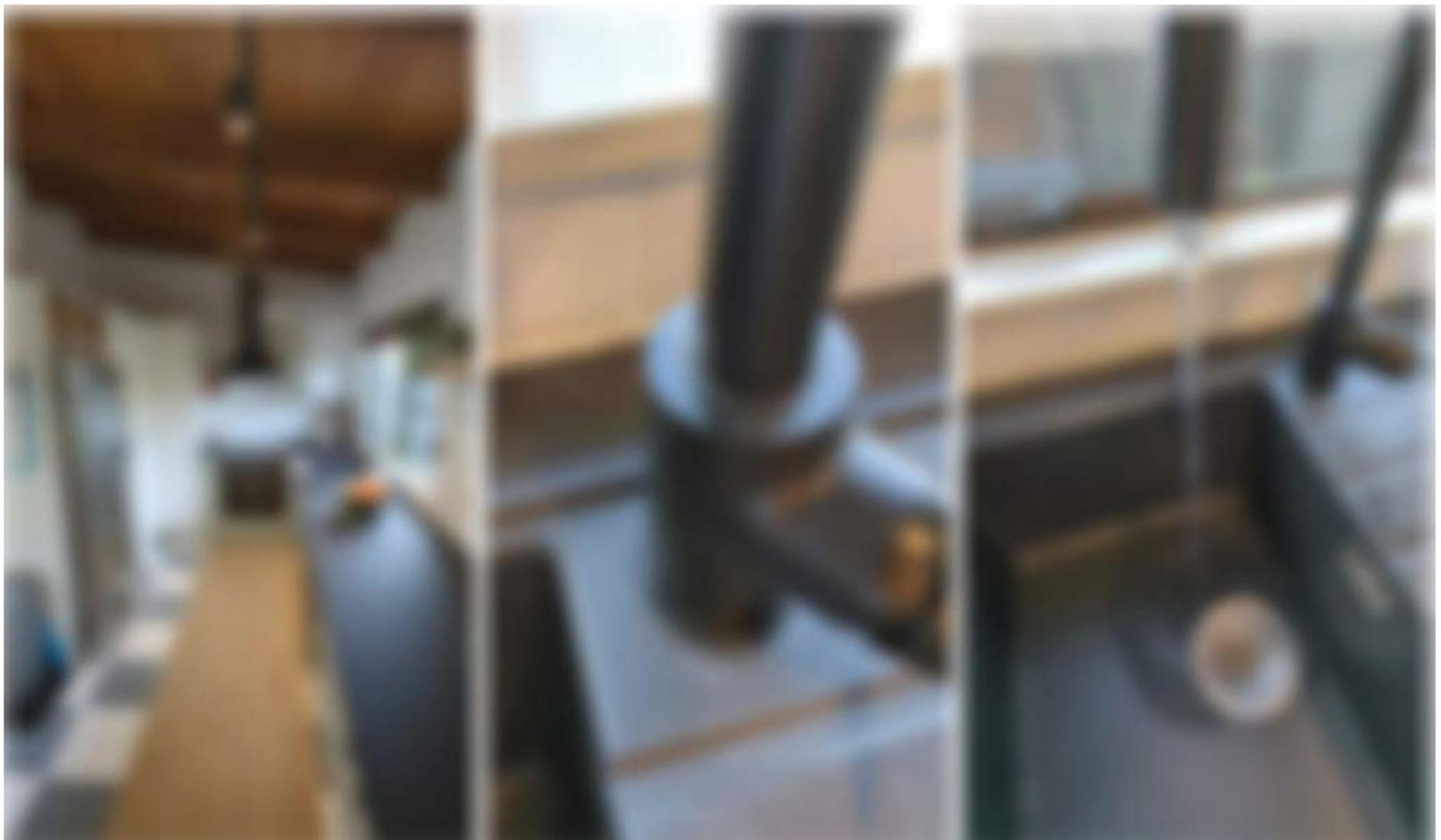
Wear and tear noted with the kitchen, advised to repair or replace hinges, cabinets etc or replace the kitchen.

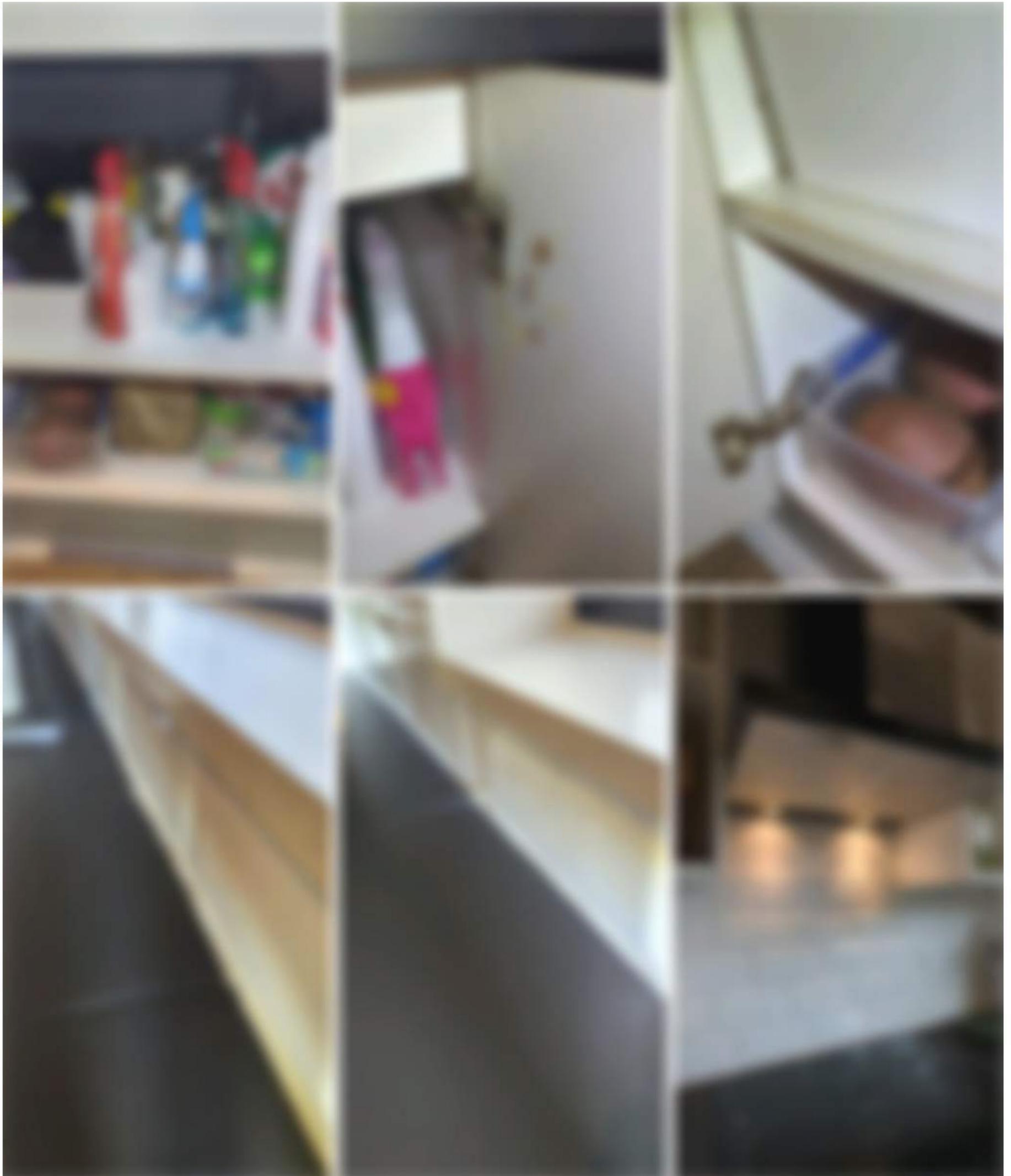
Silicone work appears poor, advised to replace.

Range hood working at the time of inspection.

Types

- Flooring
- Floor tiles
- Bench tops/cabinets
- Laminate/timber bench top
- Meltica cabinets
- Doors and drawers, age related wear noted to cabinetry & doors
- Sink
- Steel over mount
- Loose tap





8. Plumbing/Bathroom 1

Notes

Advised to install an extractor fan. Moisture management is crucial to maintain healthy living. Mould may grow in high moisture areas which can harm the health of any occupants in the property. Stale, moist air can create a damp home which can be unpleasant, not to mention unhealthy. Even when you can't see the moisture, it can still be embedded in fabrics, bedding and wall linings. Over time wallpaper can peel and mould can grow, this can affect your health and cause structural damage to your house.

There appears to be a piece of rubber installed between the bath and tiles, typically the tile runs down into the bath.

Shower liner appears loose from the wall. Advised to reinstall/replace. <https://photos.app.goo.gl/BfWQN9afXN3A6FZc8>.

There appears to be a leak from the shower enclosure. This leak may be inside the framing, damaging the structure. Without invasive testing it cannot be determined that there is not water ingress occurring. Immediate further investigation required.

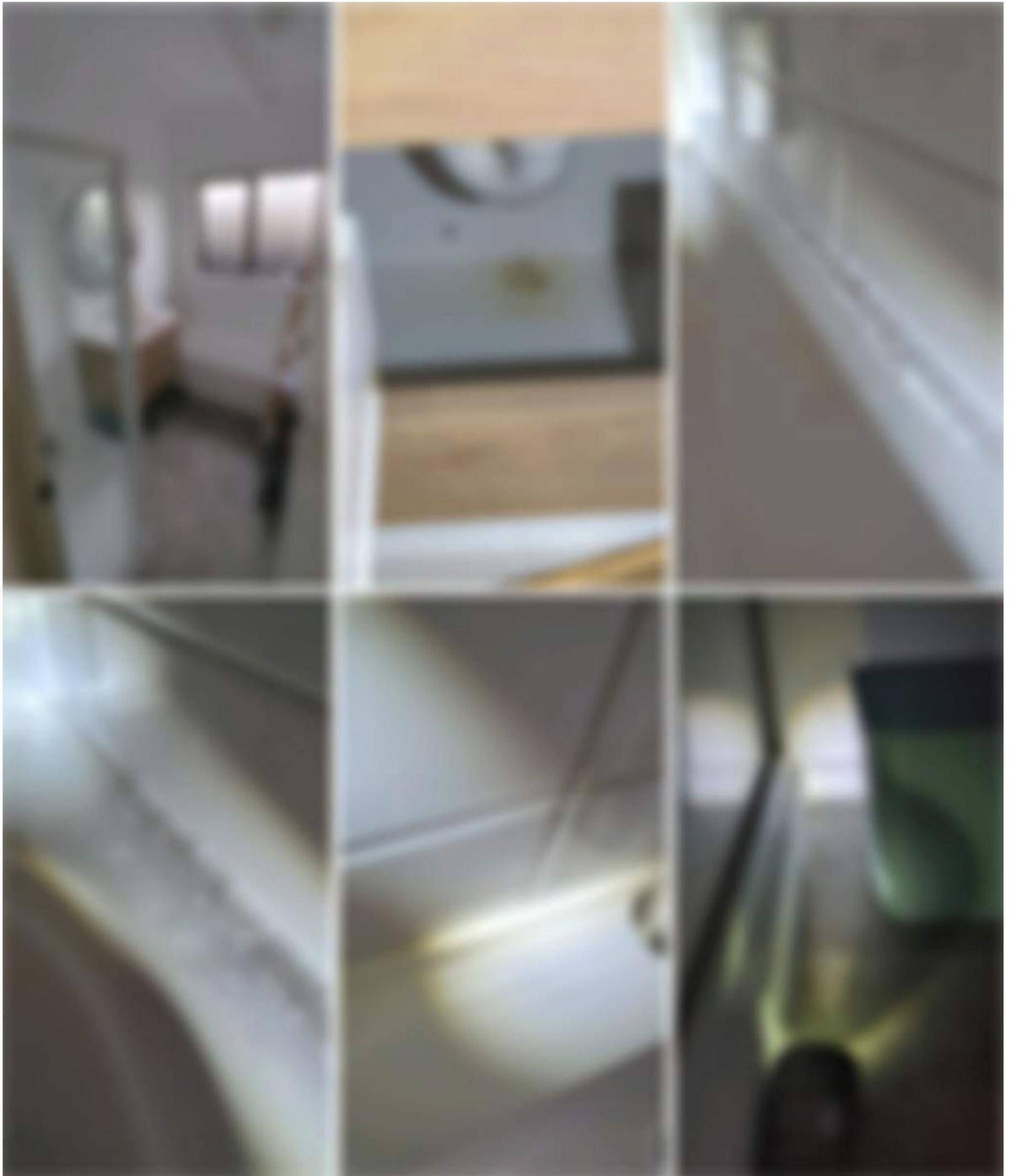
The tiling appears poor.

Check the bathroom for building consent and waterproofing ps3 etc.

Bathroom decoration required at the time of inspection. Paint as recommended according to the manufacturer's specifications.

Types

- (Our Inspectors are not Plumbers or Drain Layers & can only advise on a visual basis)
- Shower enclosure
- Plastic
- Flooring
- Vinyl
- Bath
- With wall tiles
- The Writer does not know if a waterproof membrane has been used behind the tiles
- Basin plastic
- Loose tap
- Meltica cabinet
- Heated towel rail
- Timber



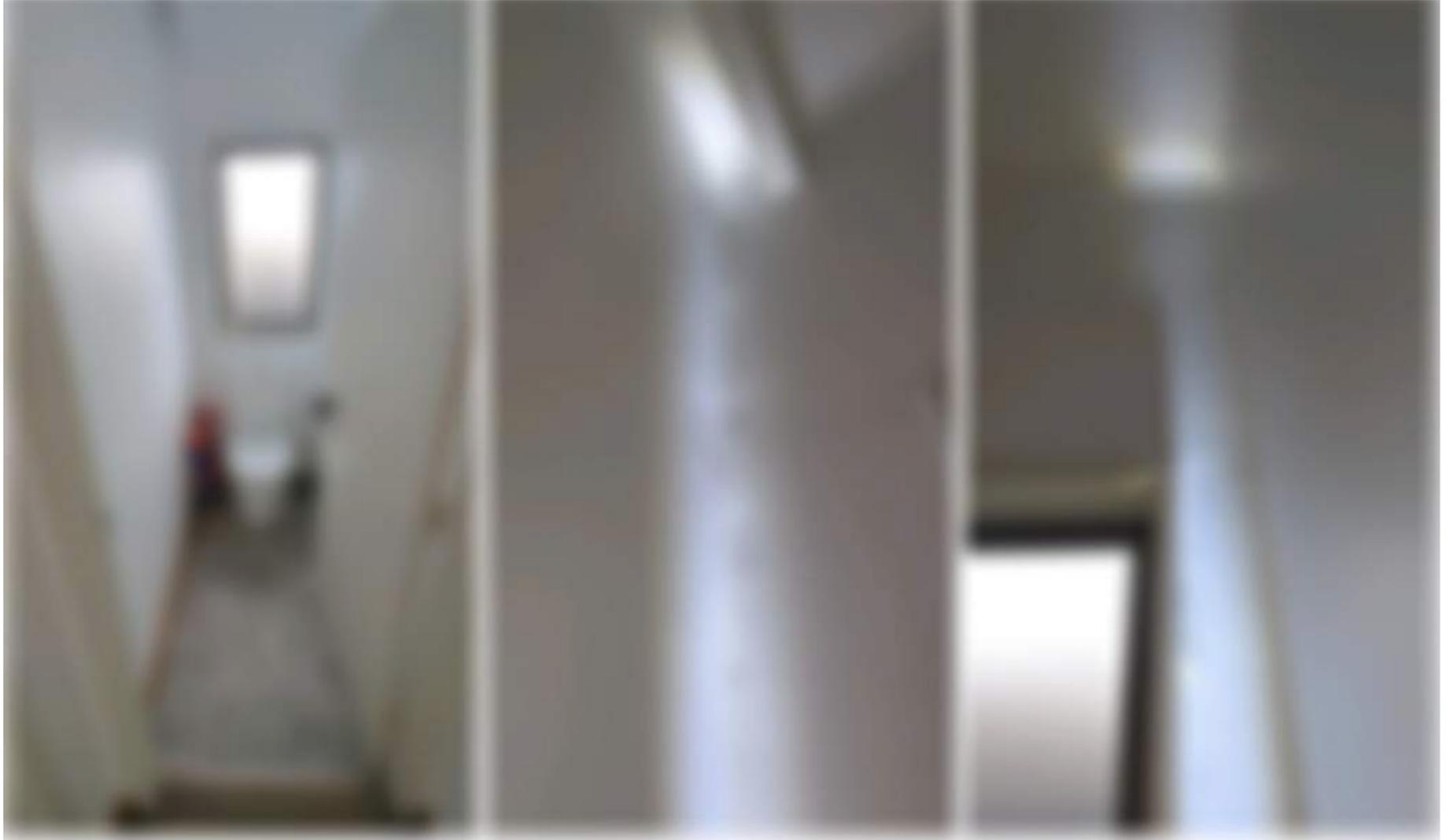
8.1 Toilet 1

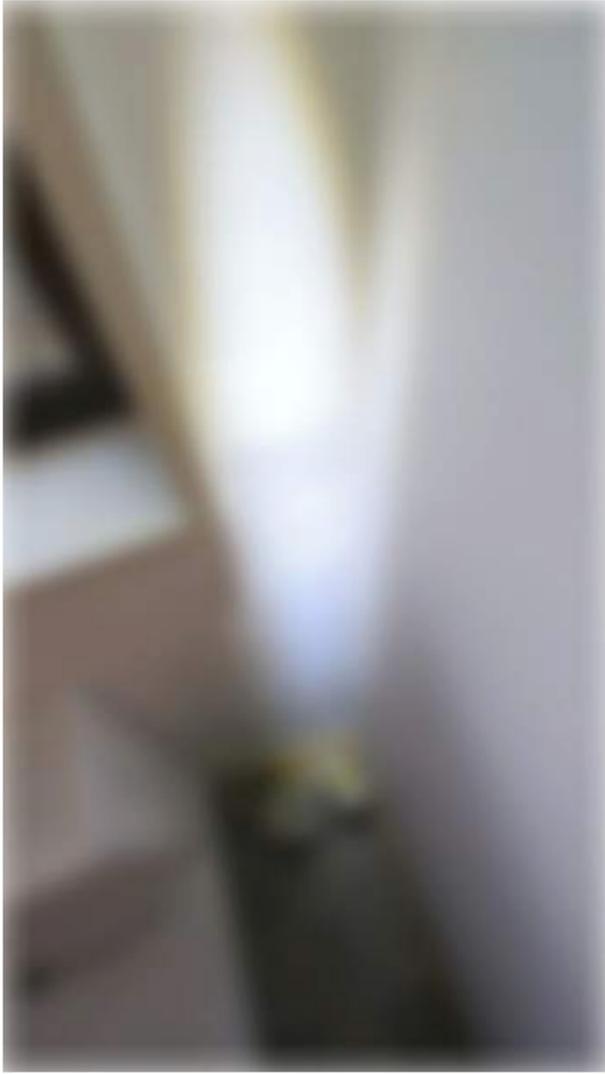
Notes

Toilet decoration required at the time of inspection. Paint as recommended according to the manufacturer's specifications.

Types

- (Our Inspectors are not Plumbers or Drain Layers & can only advise on a visual basis)
- Flooring
- Vinyl
- Toilet roll holder





8.2 Hot Water Cylinder

Notes

Hot water working at the time of inspection.

There appears to be a leak at the hot water cylinder.

Due to the age of the hot water cylinder a replacement may be required soon. Obtain quotes prior to purchasing the property.

Types

- (Our Inspectors are not Plumbers or Drain Layers & can only advise on a visual basis)
- Hot water cylinder



8.3 Laundry

Notes

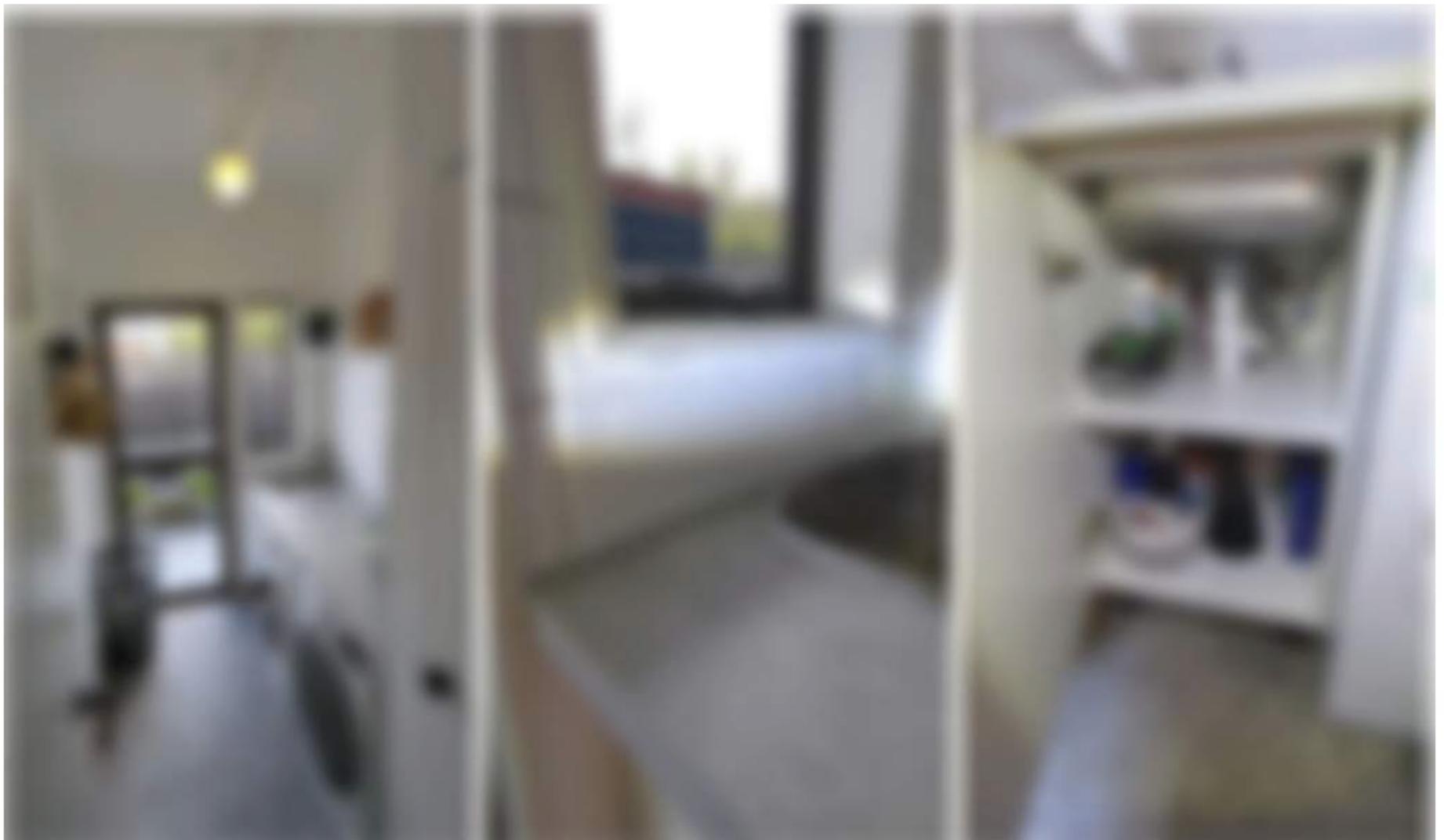
Laundry decoration required at the time of inspection. Paint as recommended according to the manufacturer's specifications.

There appears to be a cracked tile under the window.

Toe kick under the sink unit appears to be missing.

Types

- (Our Inspectors are not Plumbers or Drain Layers & can only advise on a visual basis)
- Location
- By bathroom
- Bench tops/cabinets
- Timber bench top
- Sink
- Steel over mount
- Flooring
- Vinyl





9. Electrical Distribution Board

Notes

Visually appears acceptable, advised to consult a licensed electrician for a safety check.

Types

- (Our Inspectors are not Electricians & can only advise on a visual basis)
- Circuit Breaker



9.1 Electrical/Powerpoints/Lights

Notes

Visually appears acceptable, advised to consult a licensed electrician for a safety check.

Ensure working order of all smoke alarms and their correct installation location.

Smoke alarm requirements:

Equipment required must be either 10 year long-life battery-operated (non-removable/sealed) or 240v mains powered, interconnected smoke alarms.

All smoke alarms must meet compliance standards such as BS EN 14604, AS3786, UL 217, CAN/ULC S531 or ISO 12239.

Where more than one smoke alarm is needed to meet the requirements of this standard, these alarms shall be interconnected so that when one activates, all smoke alarm devices in the household unit will sound. The interconnection between alarms may be wired or wireless.

Smoke alarms shall be located in all bedrooms, living spaces, hallways and landings within the building.

In a multi-level household, there shall be at least one smoke alarm on each level.

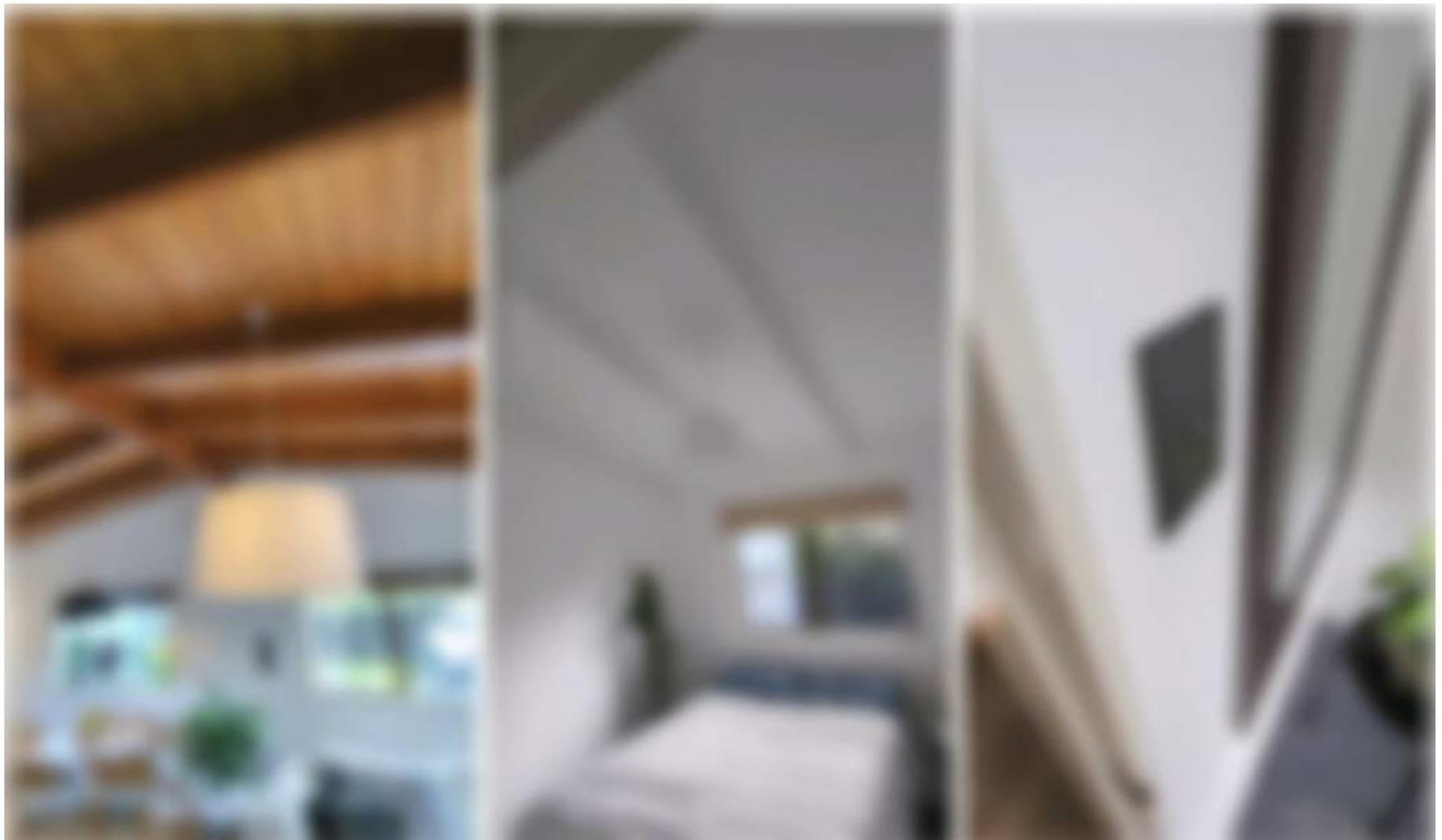
All smoke alarms must have a hush and test button.

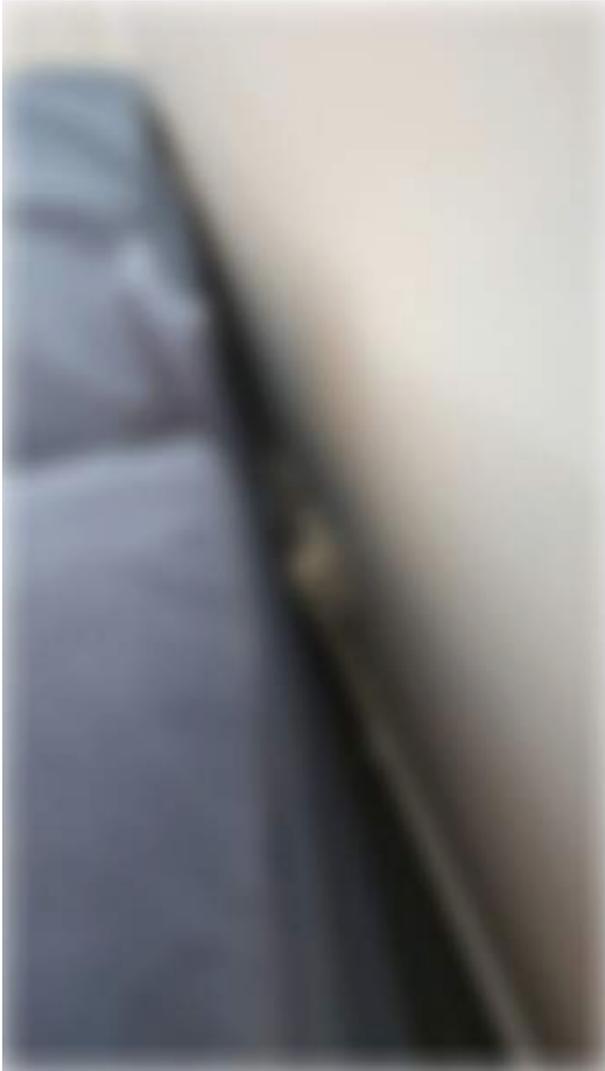
Smoke alarms shall be located on or near the ceiling.

Where a kitchen or scullery is separated from the living spaces and hallways by doors that can be closed, an alarm specified by its manufacturer as suitable for a kitchen shall be located in the kitchen. This may be a heat alarm to avoid nuisance activations.

Types

- (Our Inspectors are not Electricians & can only advise on a visual basis)
- Power points
- Switches





10. Moisture Testing

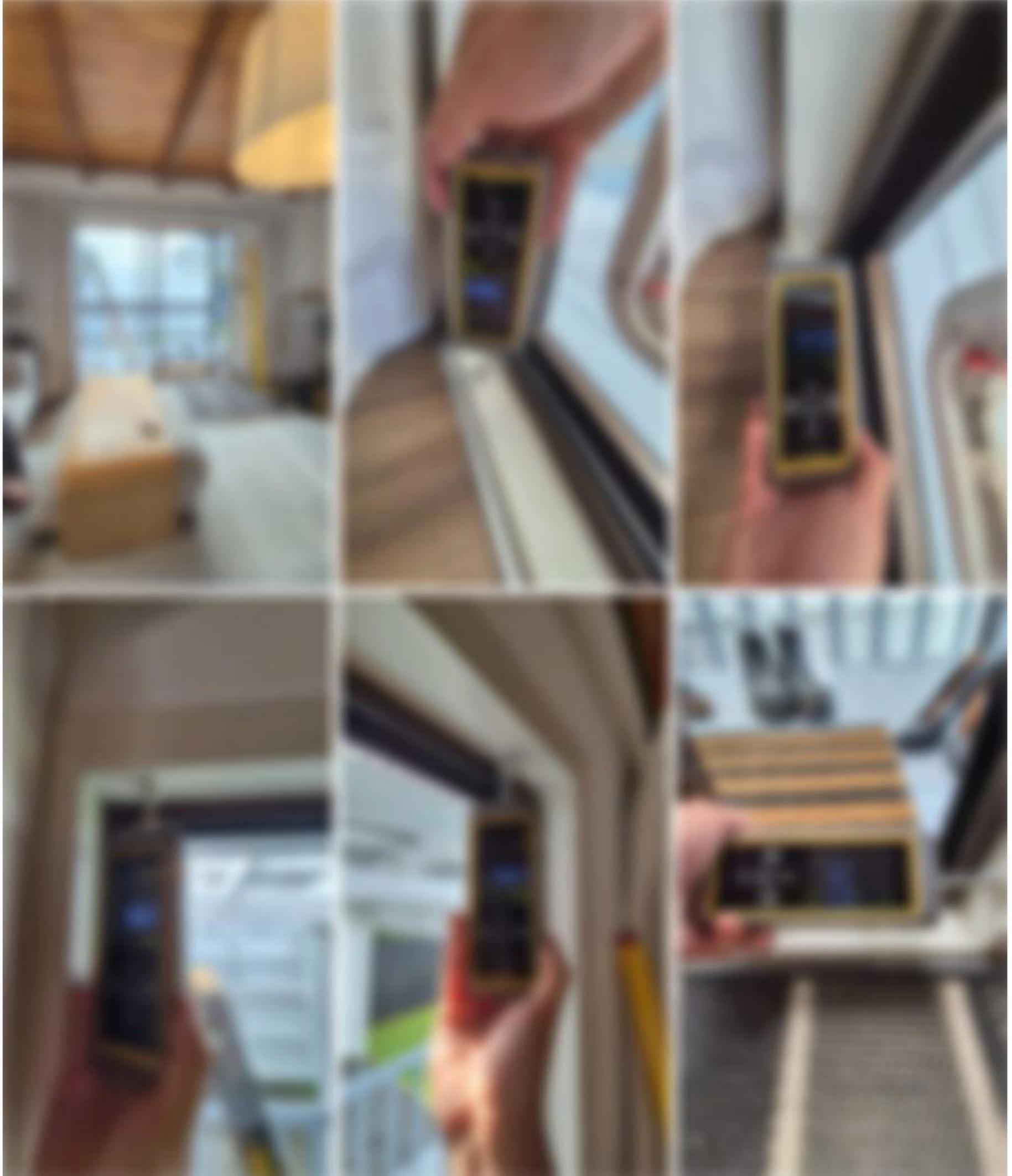
Notes

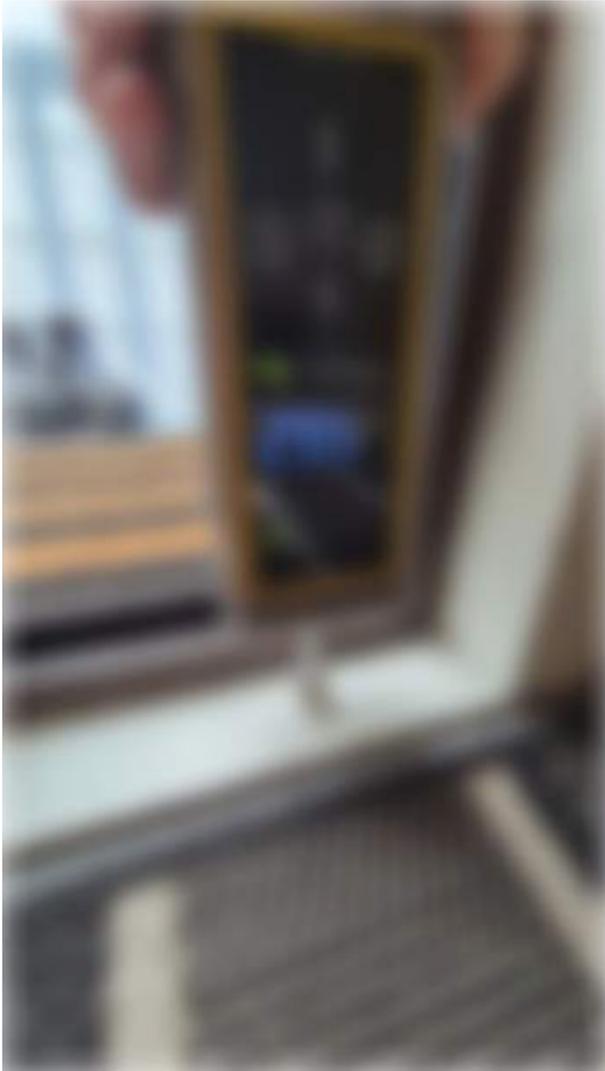
Slightly elevated moisture levels. Further investigation required to ascertain if there is any damage that has already occurred.

Additional testing will be necessary at a later time, approximately within half a year, to ascertain whether there is an escalation in moisture levels.

Room

Entrance





Display [digit]	Building moisture zone
< 40 digits	dry
40 - 80 digits	damp
> 80 digits	wet

Measured value assessment for wood

The measurement result is either in the dry or the saturated area. Saturated means that in addition to the water bound within the wood there is further liquid. If there is, hence, a measured value of more than 80, the wood is most like soaked.

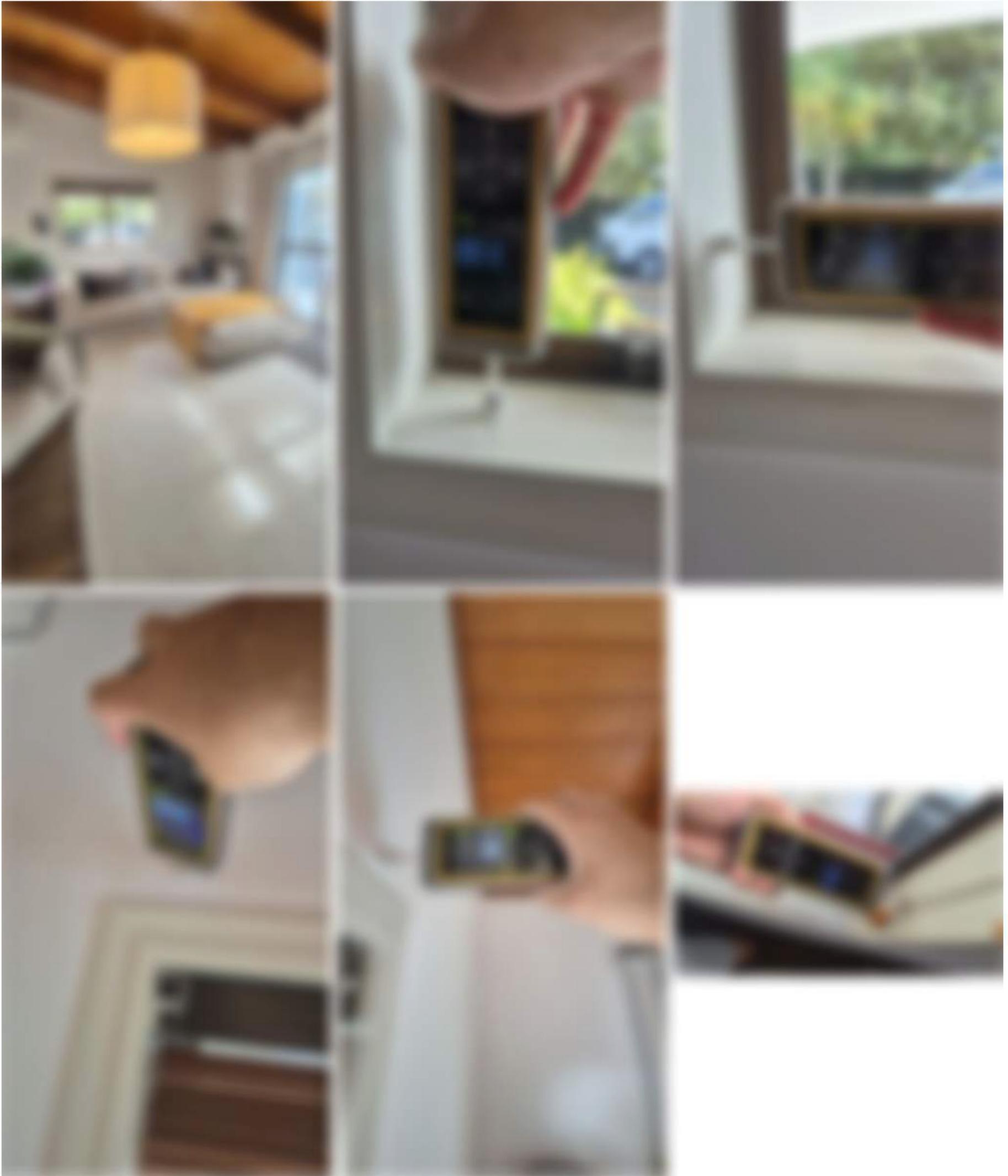
Display [digit]	Wood moisture zone
< 50 digits	dry
> 80 digits	limit to the saturated range

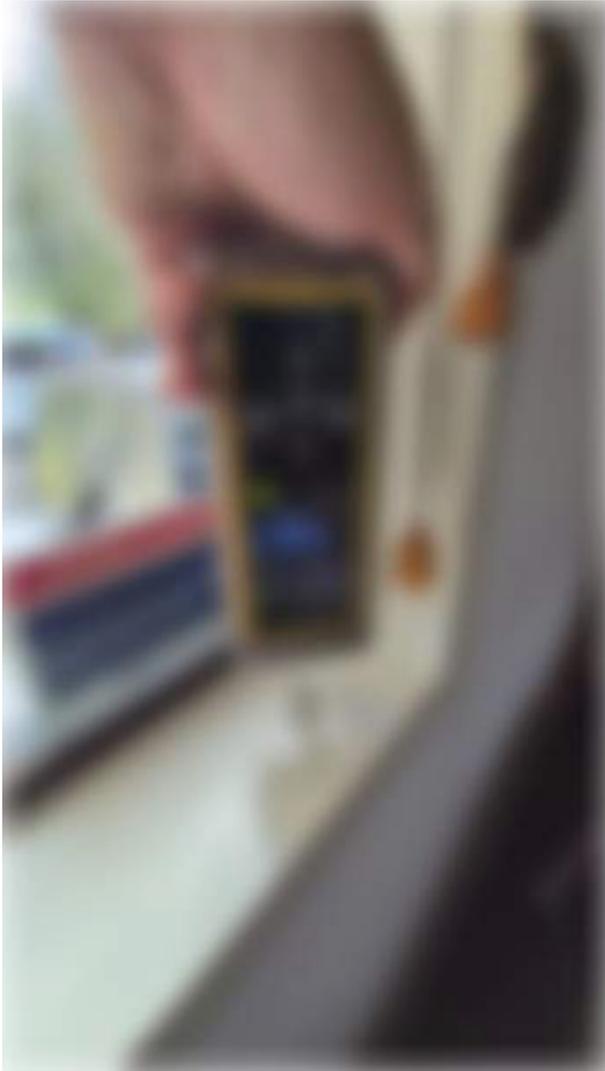
Since the measurement value displays of the dielectric measurement method – depending on marginal conditions – are subject to great fluctuations, a resistance measurement is always preferable, in particular for the determination of wood moisture.

10.1 Lounge

Notes

Moisture appears acceptable at the time of inspection.

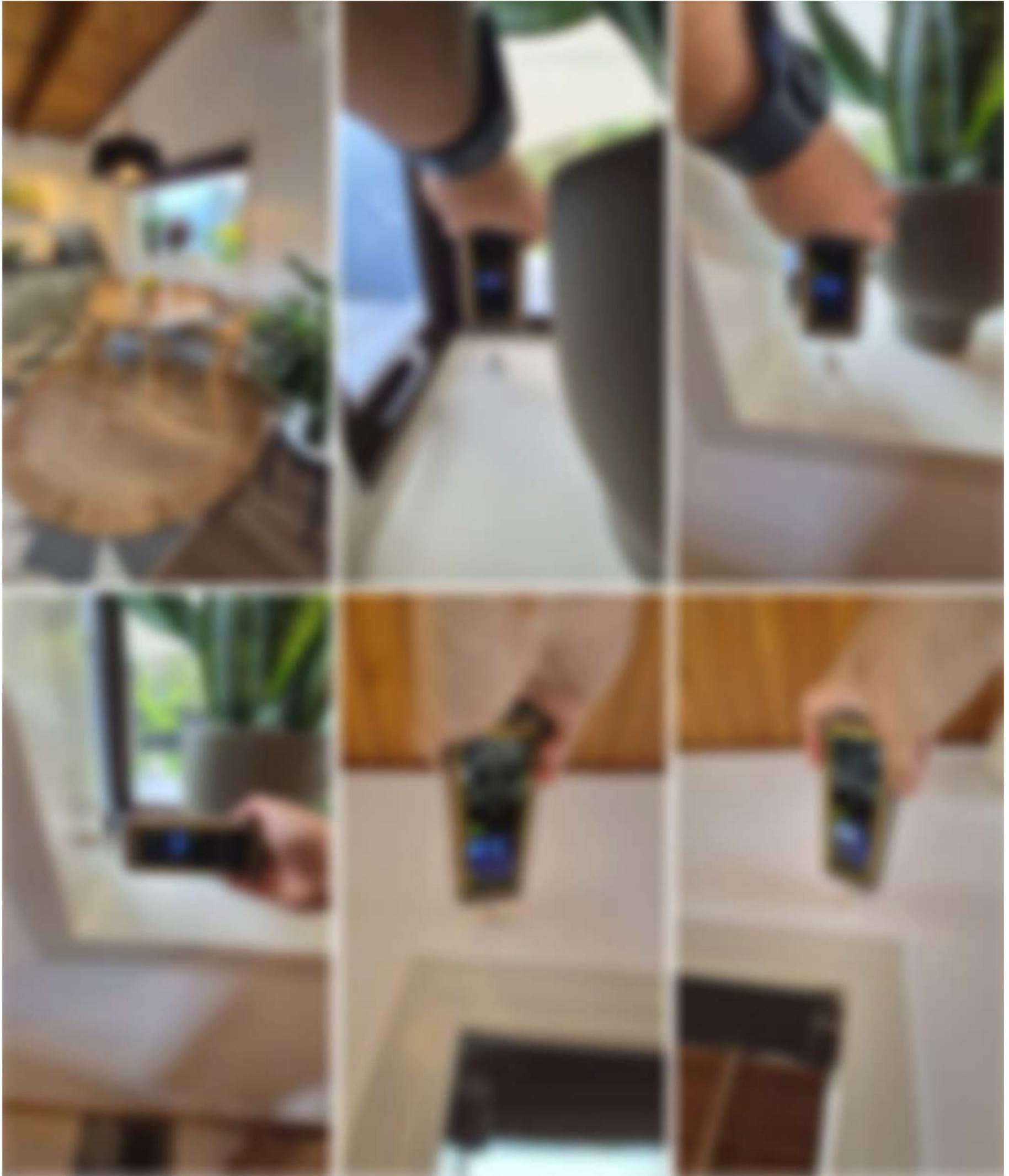


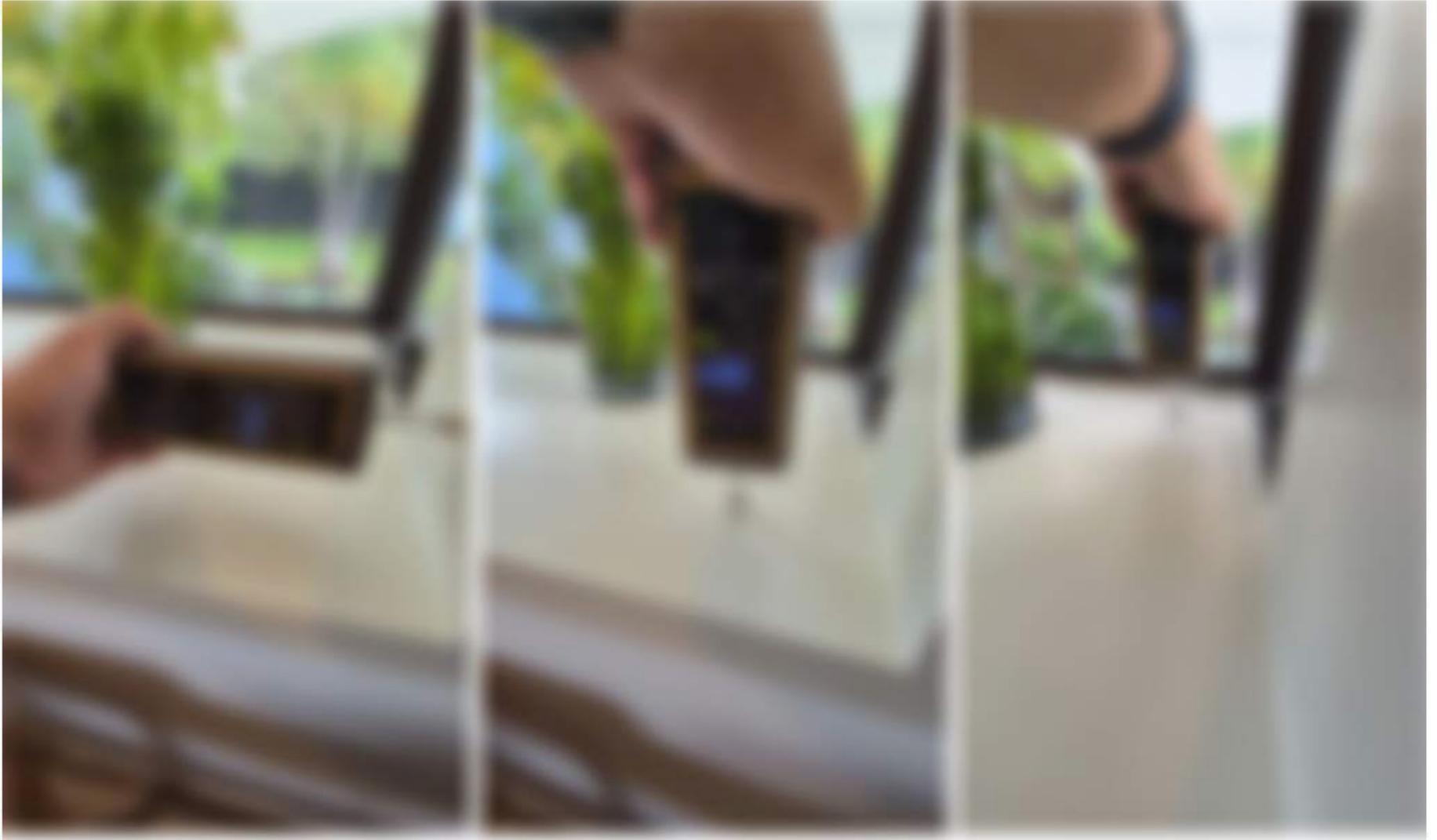


10.2 Dining Room

Notes

Moisture appears acceptable at the time of inspection.

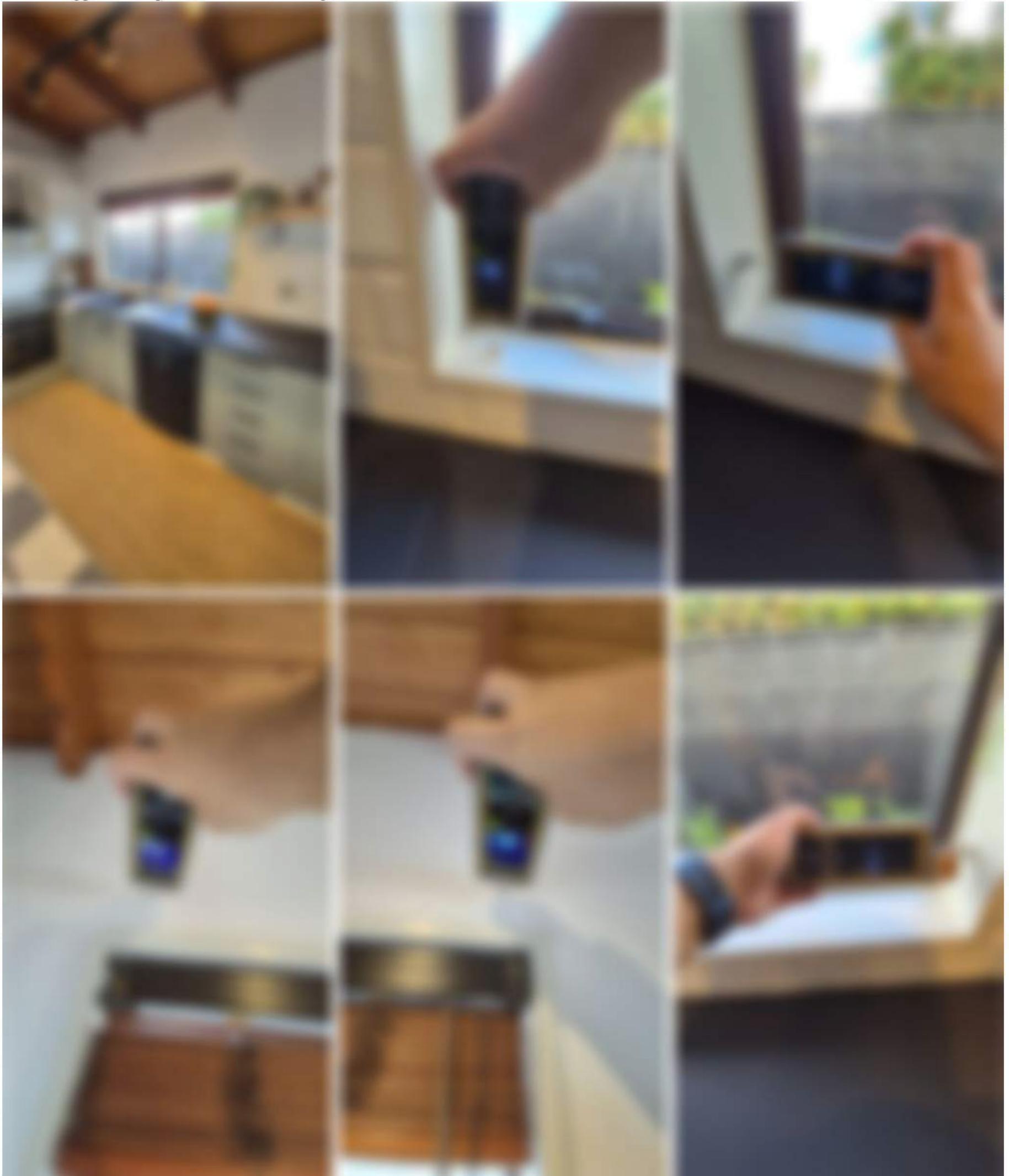


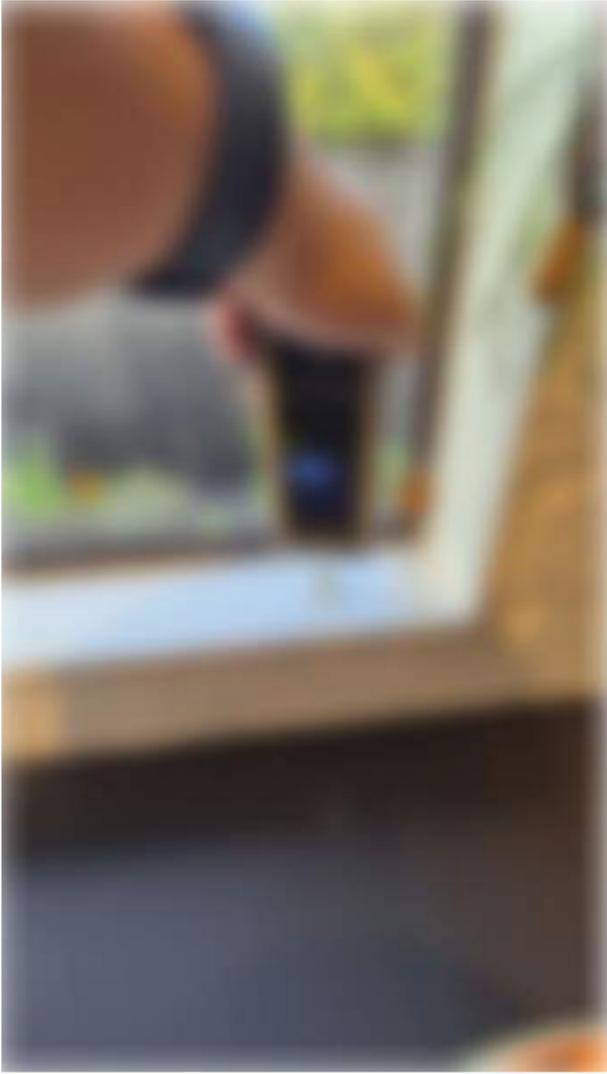


10.3 Kitchen

Notes

Moisture appears acceptable at the time of inspection.

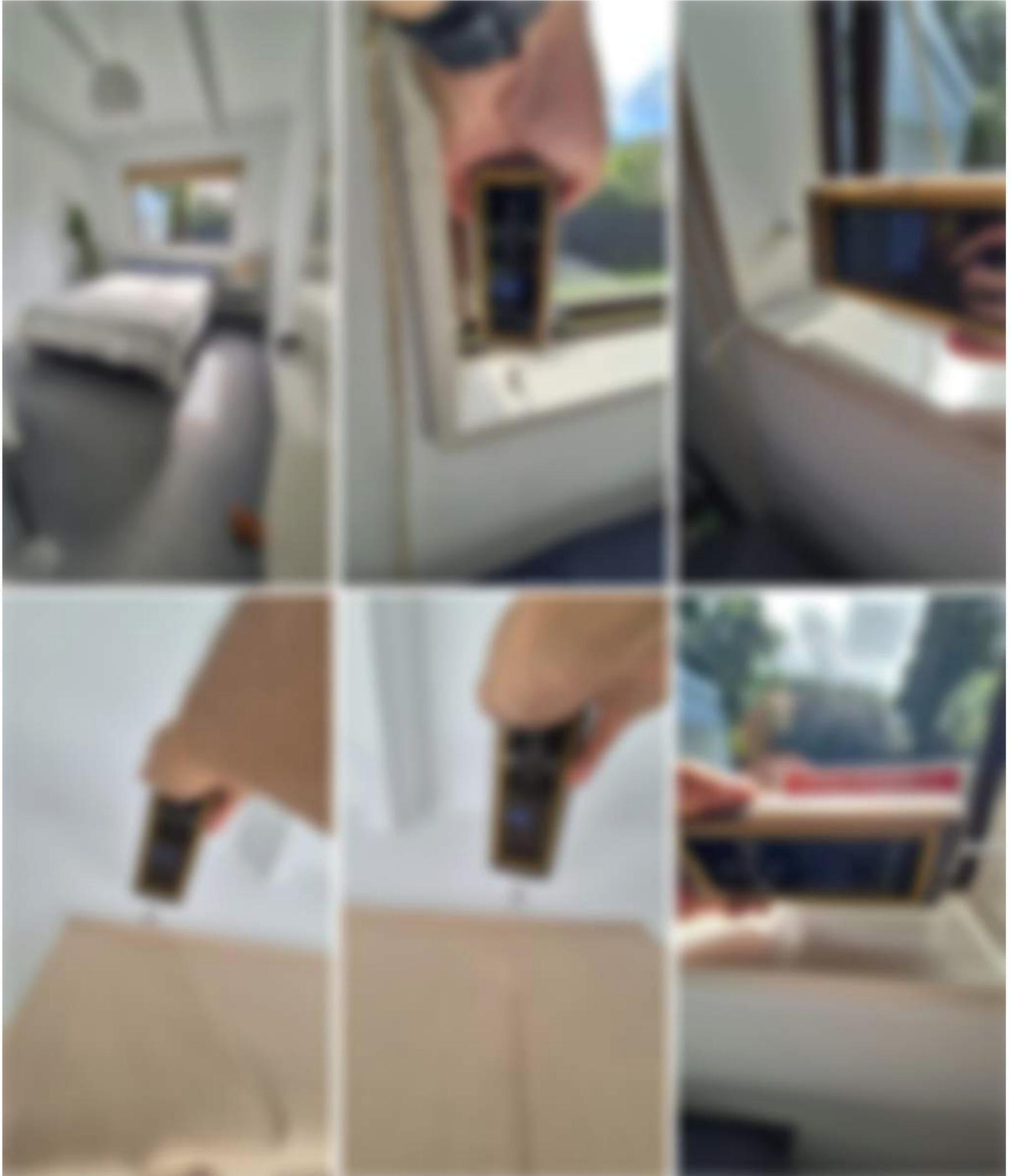


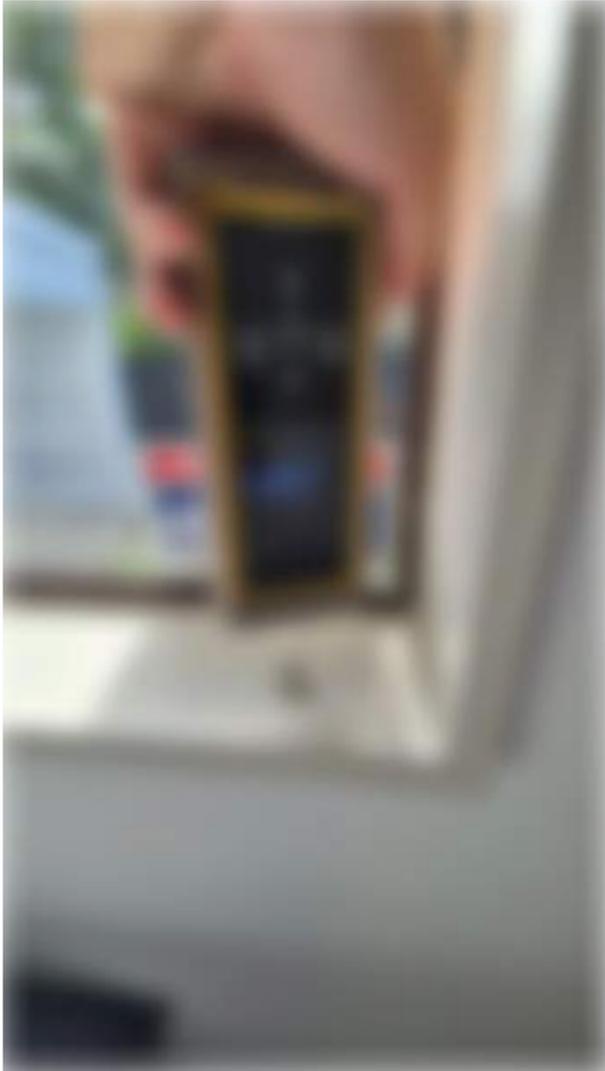


10.4 Bedroom 1

Notes

Moisture appears acceptable at the time of inspection.

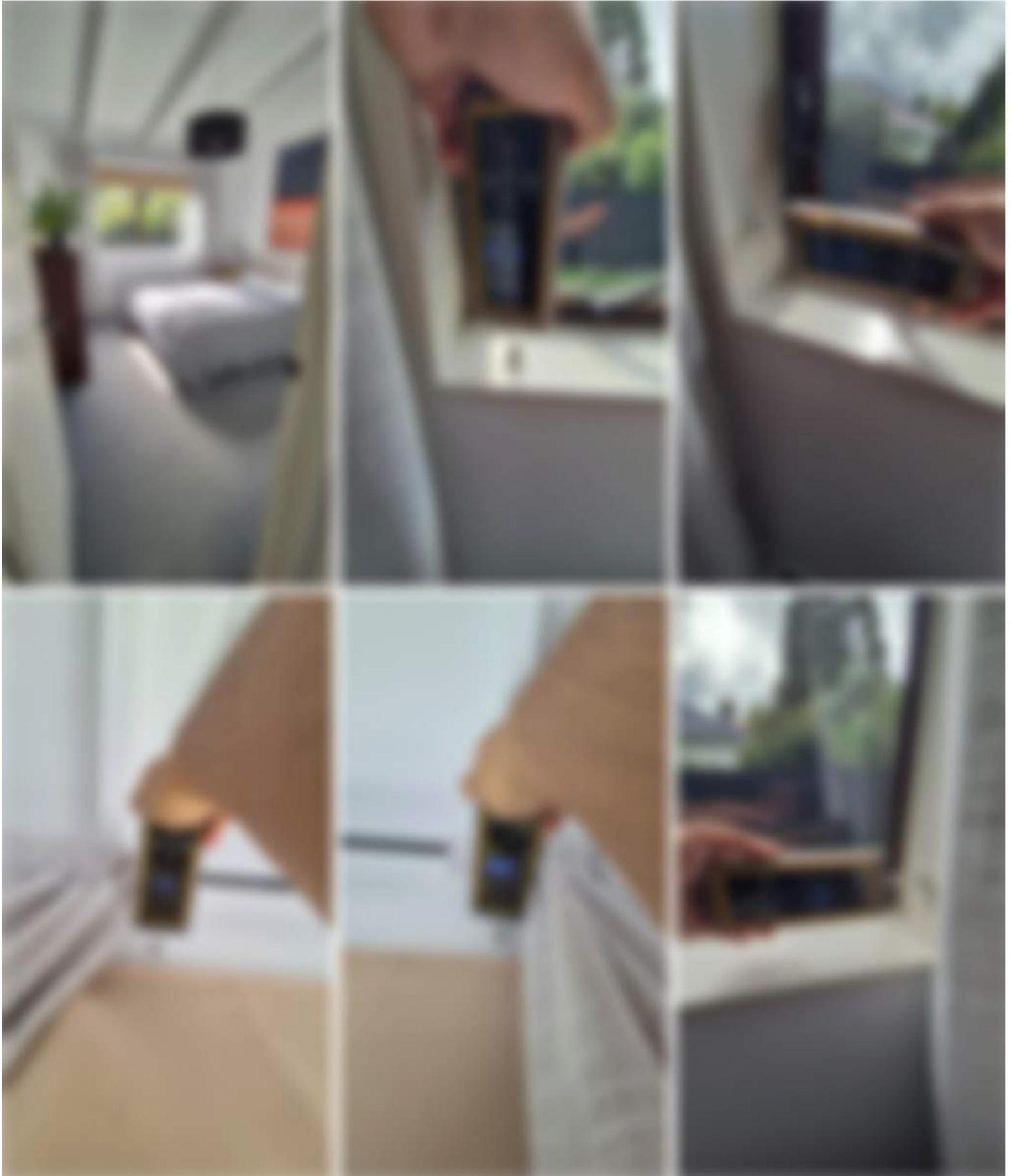


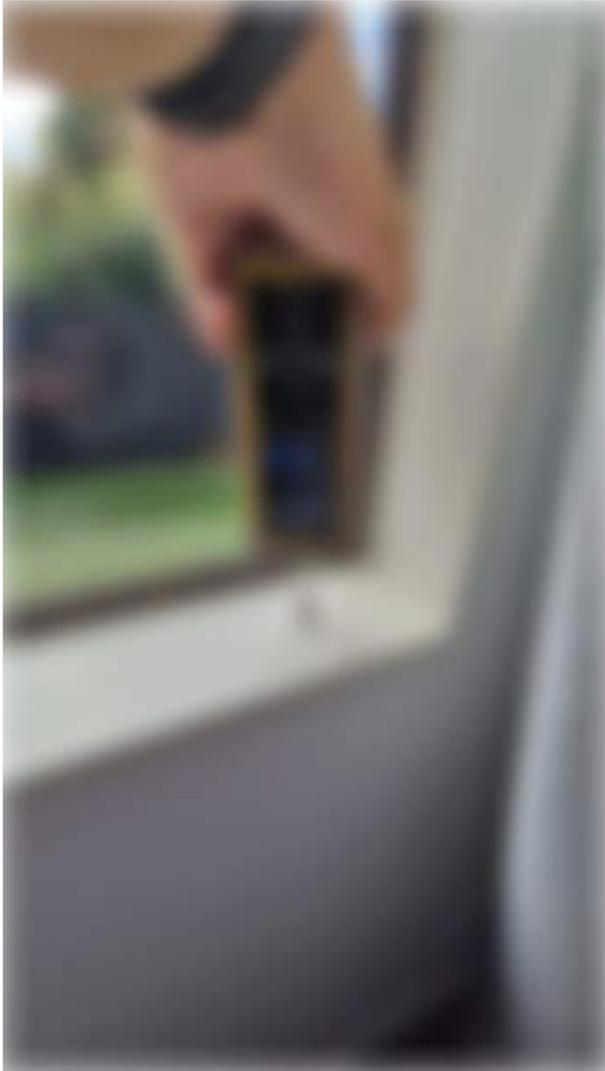


10.5 Bedroom 2

Notes

Moisture appears acceptable at the time of inspection.

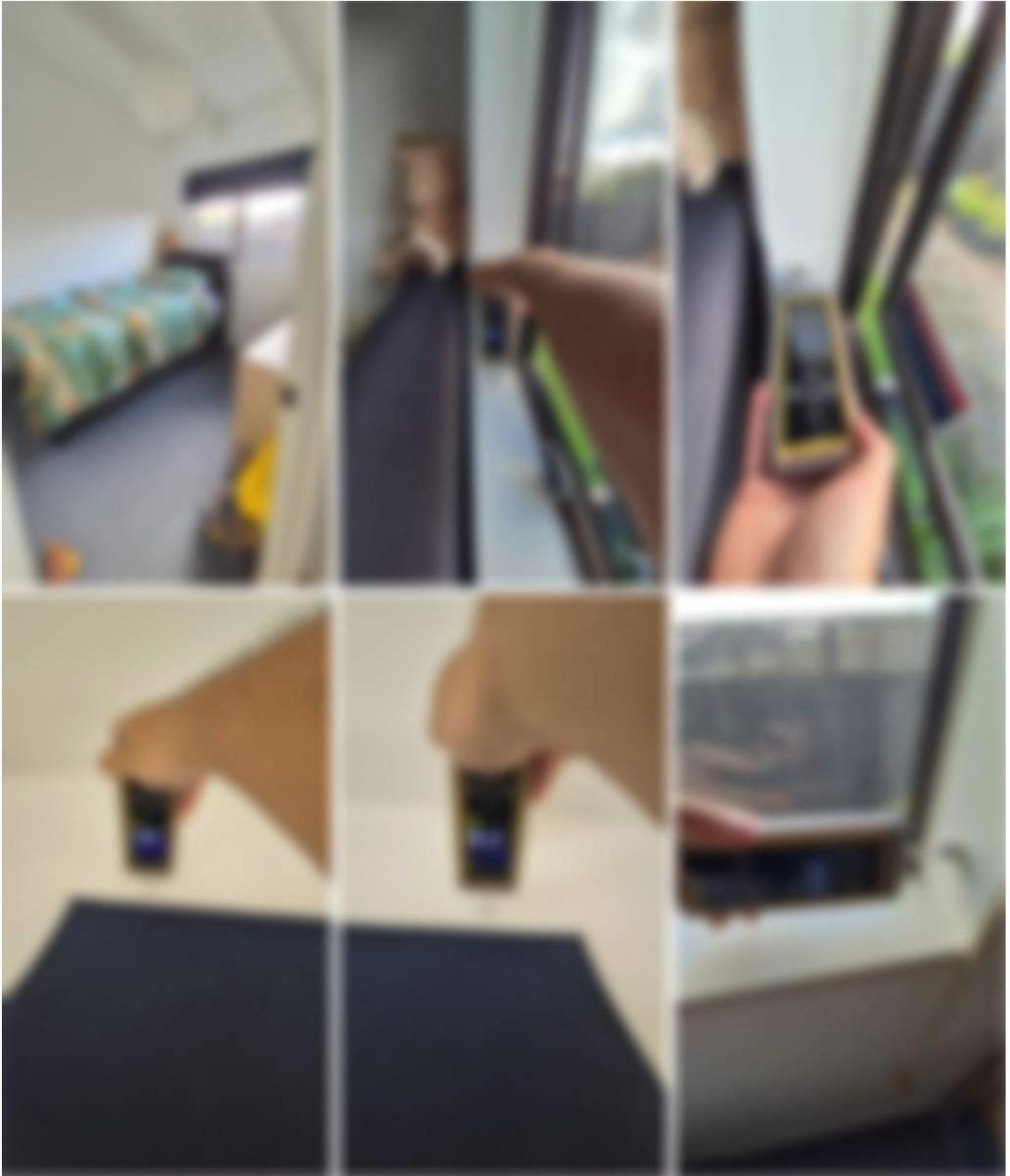


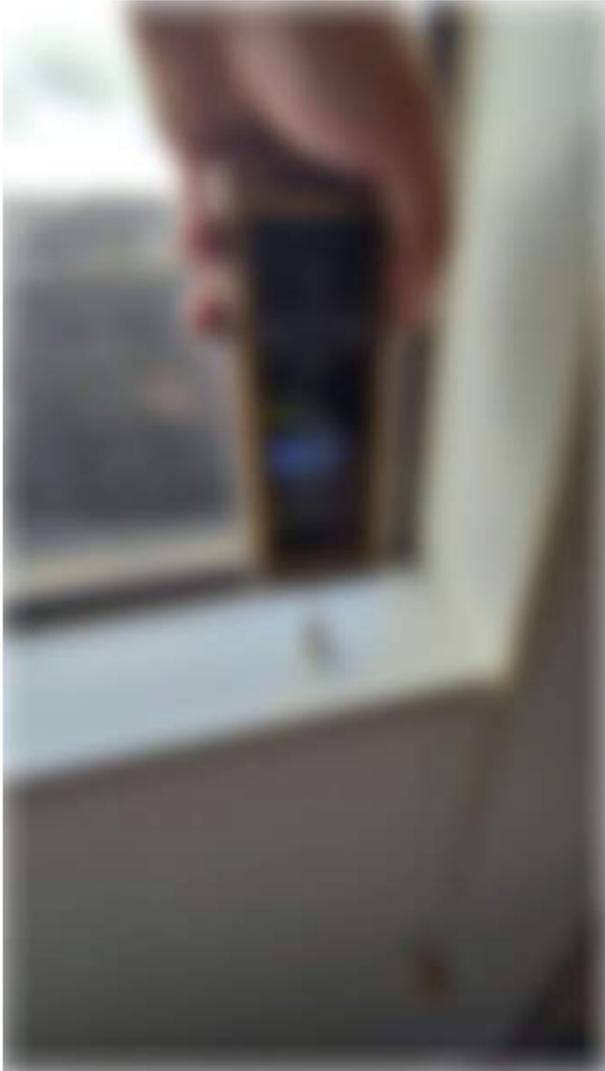


10.6 Bedroom 3

Notes

Moisture appears acceptable at the time of inspection.





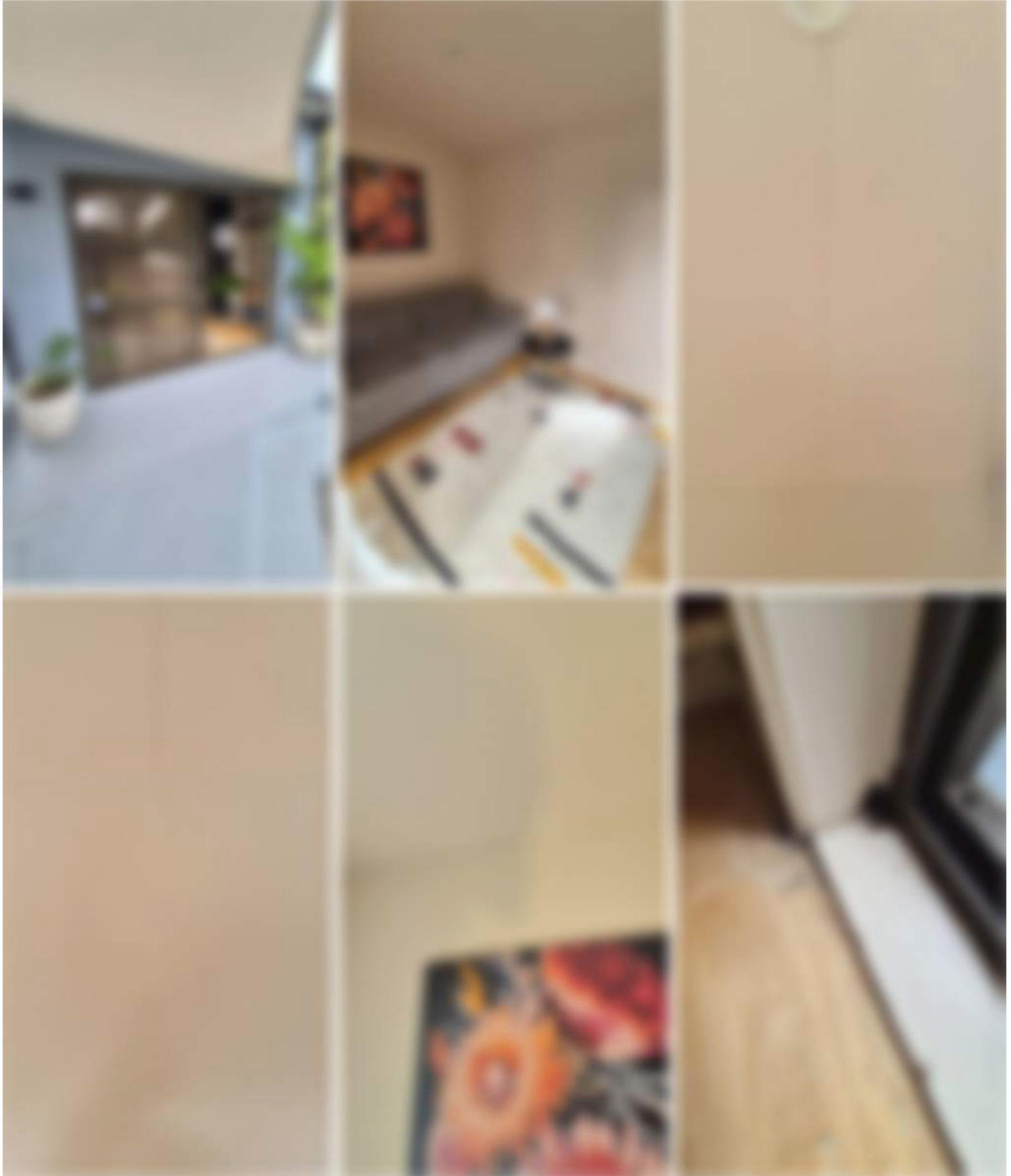
10.7 Office 1

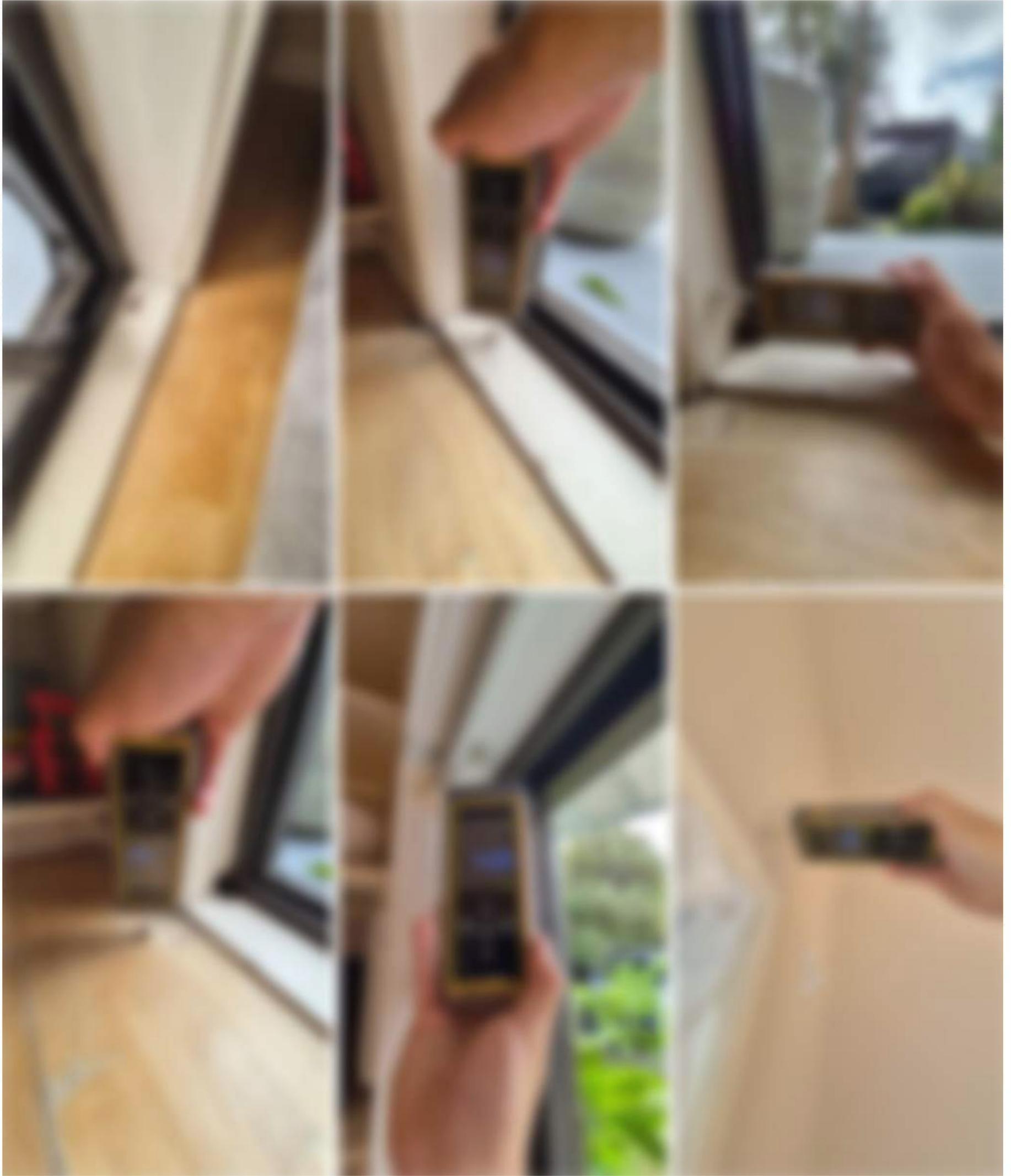
Notes

Elevated moisture levels at the joinery or wall, immediate further testing required.

If there is damage present upon invasive testing, the joinery/wall may have to be removed and replaced if it cannot be repaired. Inaction may result in further decay of the structure of the property and financial costs may become significant.

Consult an architect and lbp builder immediately.







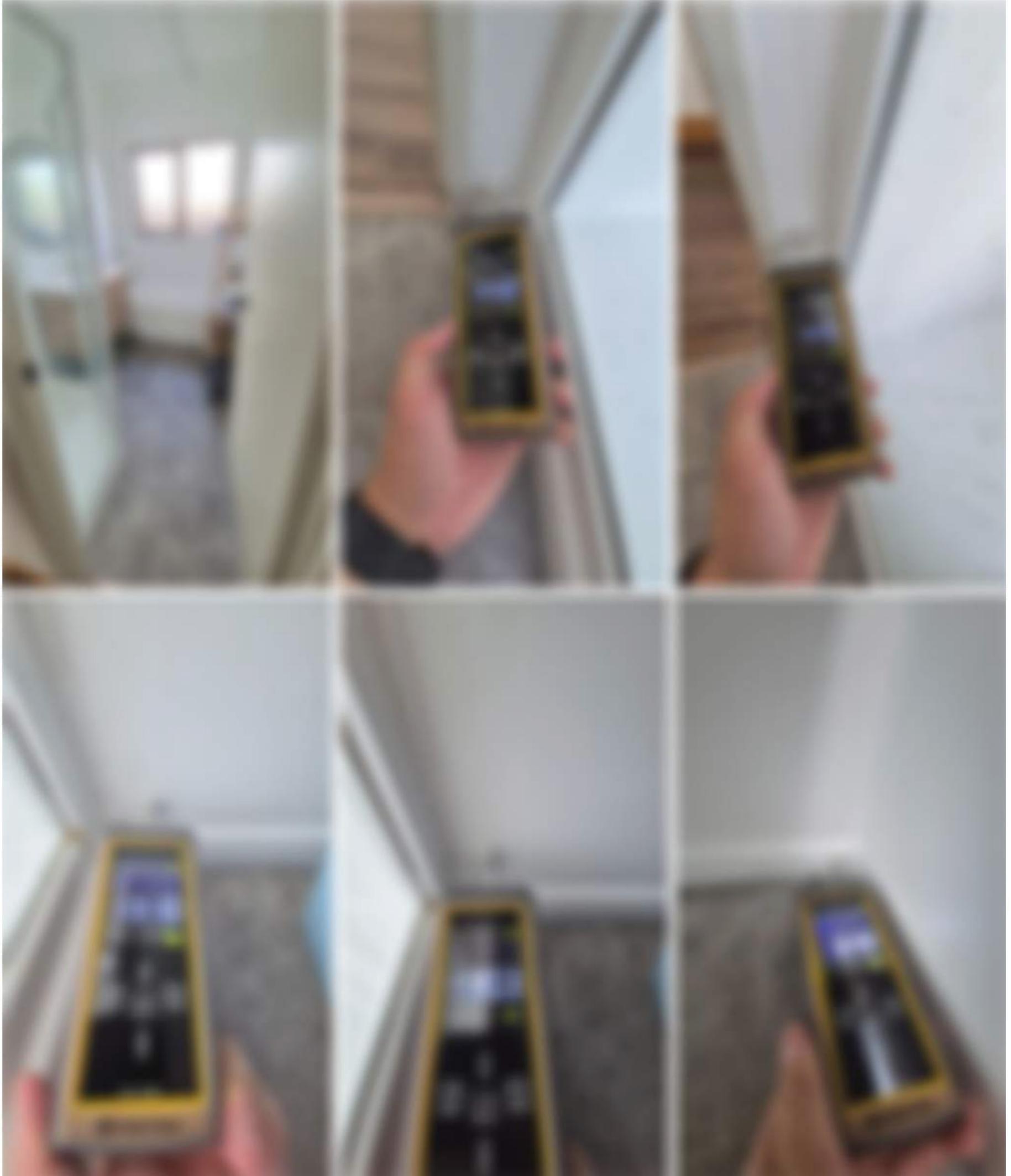
10.8 Bathroom 1

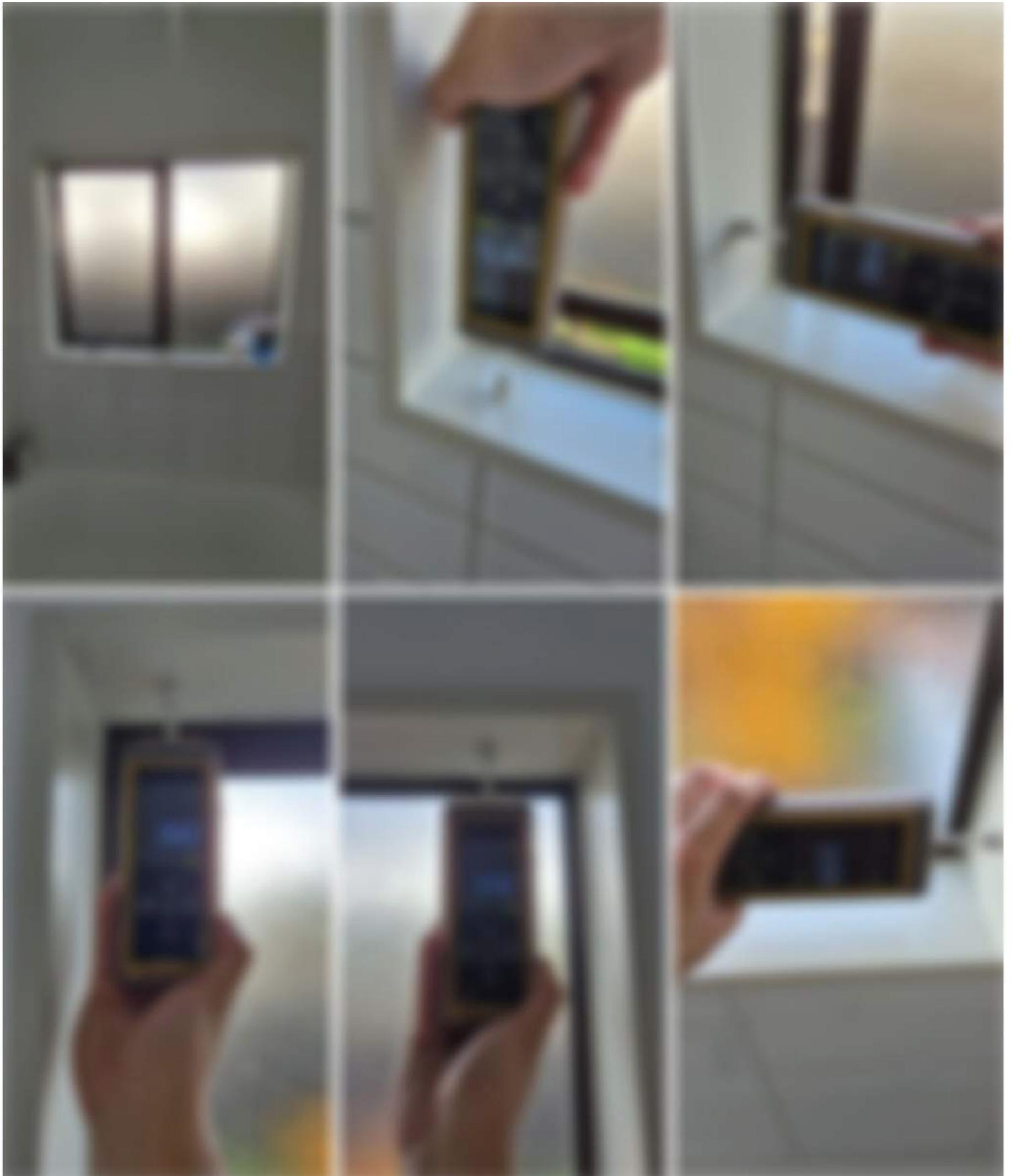
Notes

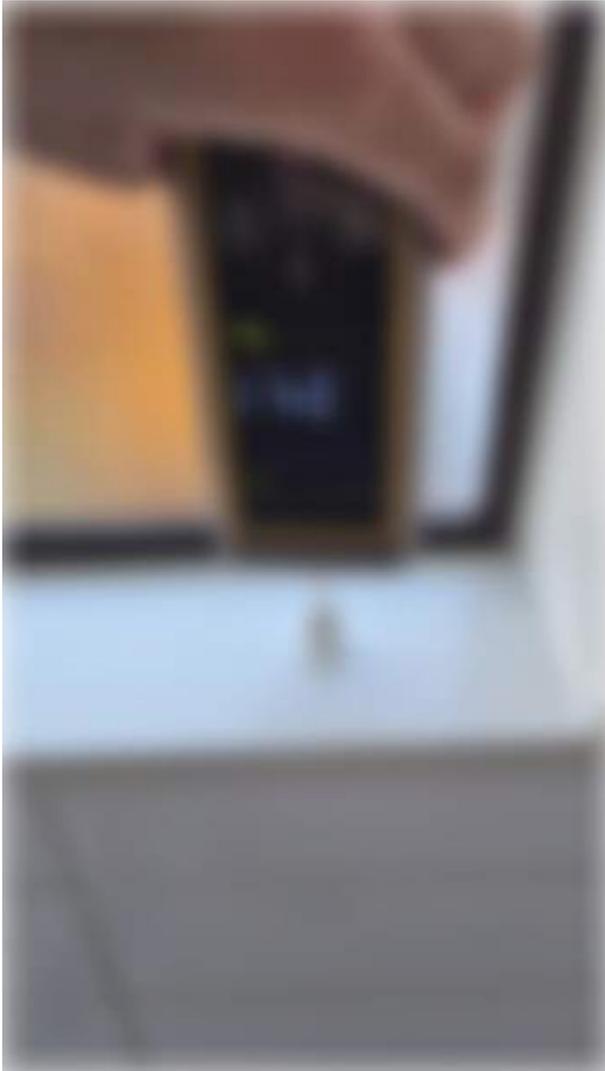
Elevated moisture levels at the joinery or wall, immediate further testing required.

If there is damage present upon invasive testing, the joinery/wall may have to be removed and replaced if it cannot be repaired. Inaction may result in further decay of the structure of the property and financial costs may become significant.

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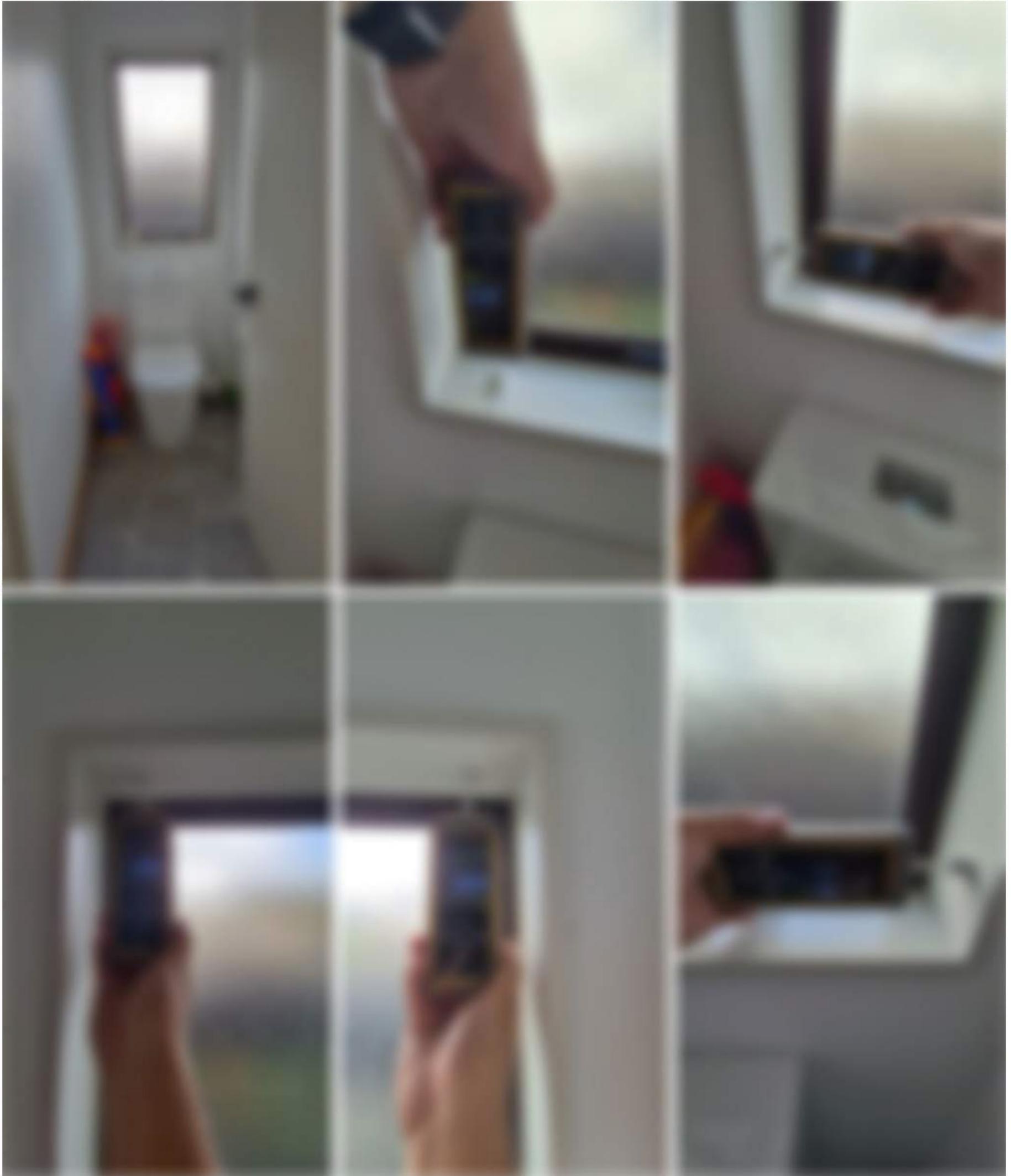


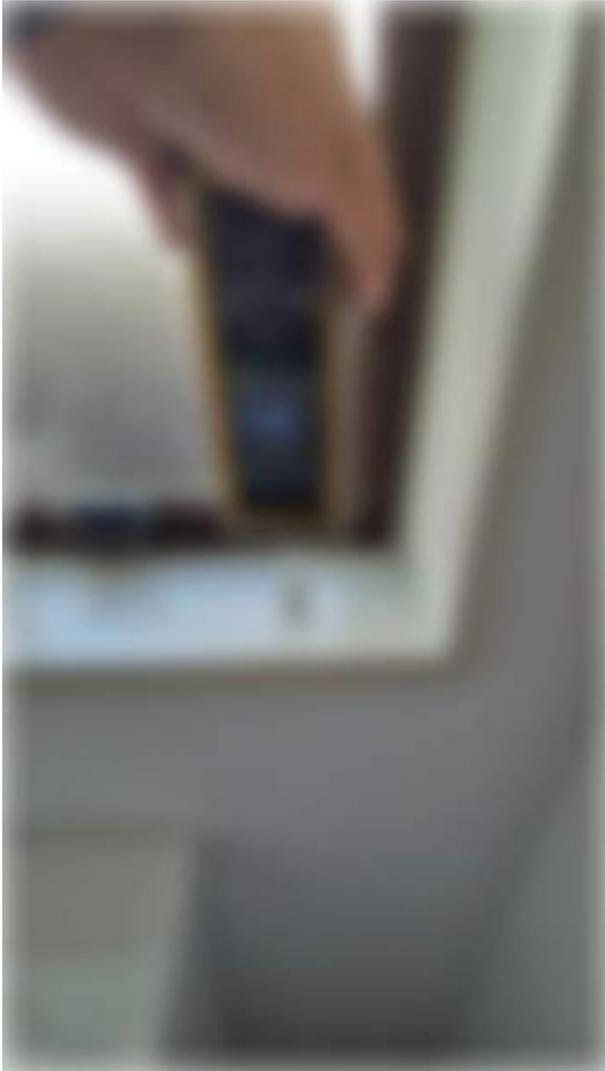


10.9 Toilet 1

Notes

Moisture appears acceptable at the time of inspection.





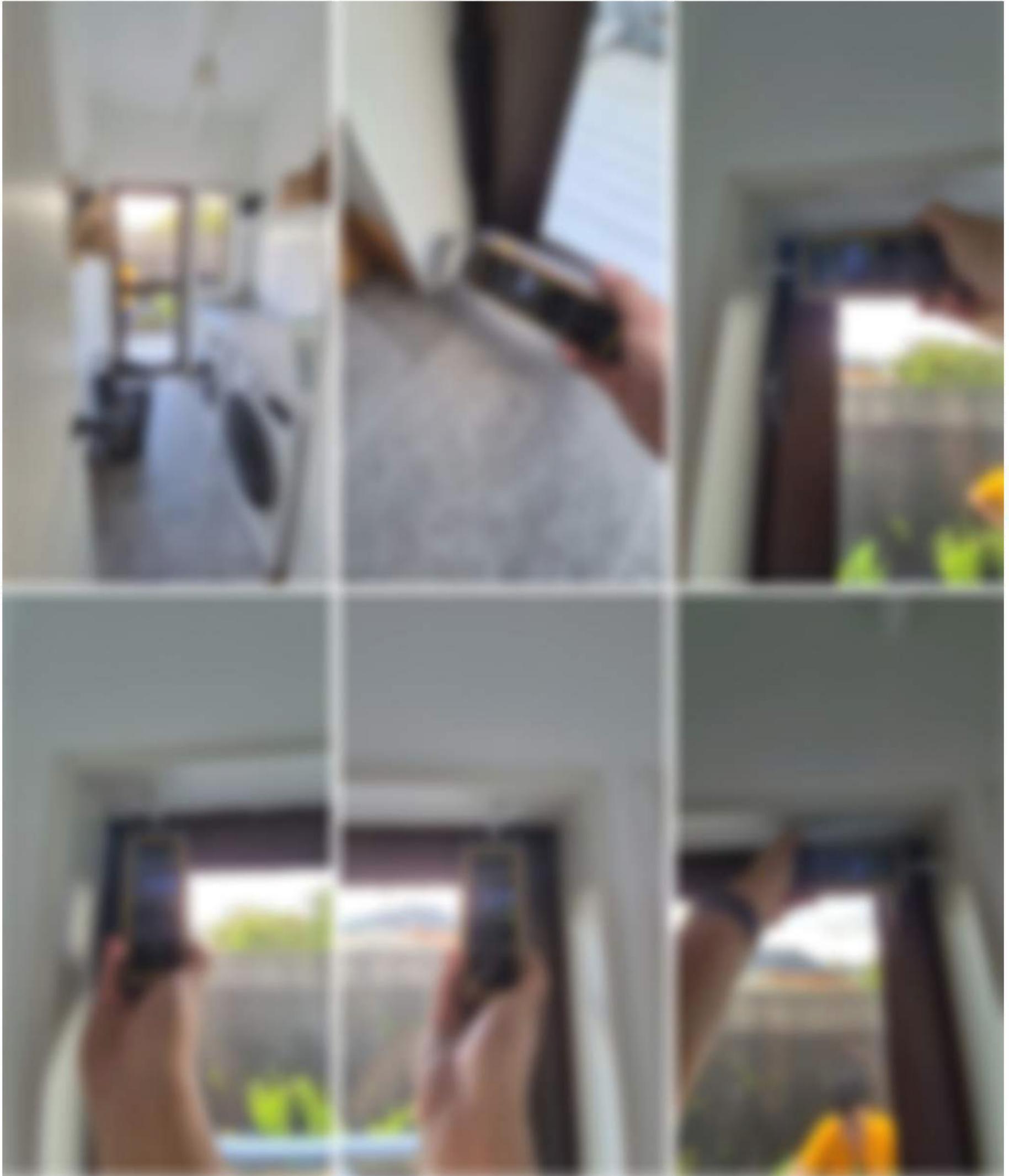
10.10 Laundry

Notes

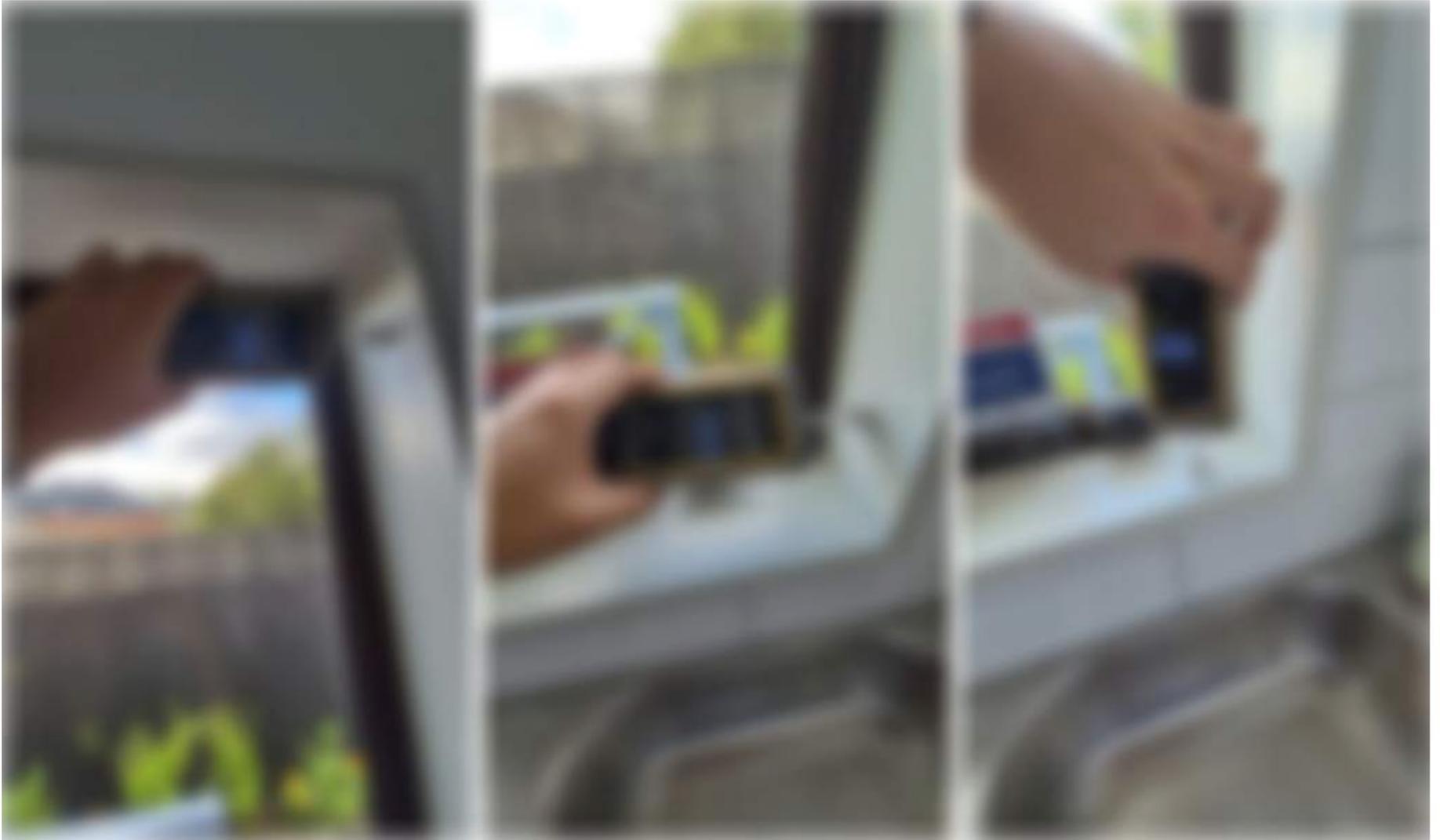
Elevated moisture levels at the joinery or wall, immediate further testing required.

If there is damage present upon invasive testing, the joinery/wall may have to be removed and replaced if it cannot be repaired. Inaction may result in further decay of the structure of the property and financial costs may become significant.

Consult an architect and lbp builder immediately.







Summary

Summary

Regular, annual moisture testing advised. With regular moisture testing, elevations in moisture can be determined prior to significant damage and cost required repairs.

For older homes:

The general structure of the Building at the time of this Inspection appears to be in a condition consistent with the age of the property. There may be significant repairs/maintenance required to bring the building back up to an acceptable standard as recommended in the Report.

These repairs/maintenance may be costly and it is advised to obtain quotes immediately. Honeycomb Construction, T/A Honeycomb Building Inspections is not liable for any failure to act on the recommendations provided above. We strongly advise taking immediate action to prevent further damage to the property. Please contact us regarding any questions immediately.

Moisture meter used is the Trotec T660, the manufacturer recommends 8-10cm from edges to be measured. In some cases this is not possible, where jambs are smaller or moisture is in a corner etc. We will attempt our best to maintain this distance.

Issues include and not limited to:

High risk: Subfloor (moisture, damage, structure), cladding (damage, double nailing), joinery (clearances), roof (age, damage, screws) and internal moisture.

Low risk: Driveway, fence, deck and steps.

Ensure only qualified tradesmen and tradeswomen persons are engaged. Any unlicensed trade that works on the property could result in the insurance being void. Honeycomb Construction, T/A Honeycomb Building Inspections does not take any liability in any way whatsoever regarding third party tradesmen and tradeswomen.

Recommend further investigation or intrusive testing to areas indicated in the Report or Locations the Expert carrying out the Testing sees fit and the Remedial Work to be undertaken.

Recommend checks be made with the Local Territorial Authority (Council) to confirm all relevant Consents have been obtained and complied with for the property. This would include any Alterations or Additions made to Original Property and any areas which are not exempt from having a Building Consent. The Department of Building & Housing (DBH) lists areas that may be exempt from having to require a Building Consent.

Internet Link: <https://www.dbh.govt.nz/bc-no-consent-schedule->

About the Report

Inspections – over three meters. Worksafe regulations state that working at heights over three metres is done safely. If climbing over three metres then worksafe state – guarding, safety nets or fall arrest systems should be in place. This is impracticable in the situation of house inspections, therefore our policy is, that Inspectors only climb as far as their ladders take them, keeping their own personal safety paramount.

Reasonable access – areas where safe, unobstructed access is provided and the minimum clearances specified below are available; or where these clearances are not available, areas within the inspector's unobstructed line of sight.

Roof space – access manhole 450 x 400mm; 600x 600mm; height accessible from a 3.6m ladder or such other means of access that meet worksafe requirements.

b) Subfloor – access manhole 500 x 400mm; crawl space vertical clearance timber floor 400mm (from underside of bearer) Concrete floor 500mm.

c) Roof exterior – accessible from a 3.6m ladder or such other means of access that meet worksafe requirements.